

You are invited to a Zoom webinar.

When: Jun 10, 2020 06:00 PM Eastern Time (US and Canada)

Topic: GT Zoning Board Meeting for June 10th

Please click the link below to join the webinar:

<https://zoom.us/j/97458877679?pwd=L3ZSRHcrcFY2aEg0WkNrQ05zS2JkZz09>

Password: 251289

Or iPhone one-tap :

US: +13126266799,,97458877679#,,1#,251289# or +16465588656,,97458877679#,,1#,251289#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 312 626 6799 or +1 646 558 8656 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 9128 or +1 253 215 8782

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**Township of Gloucester
Zoning Board of Adjustment
Wednesday, June 10, 2020
6:00 P.M.**

Agenda

**Salute to the Flag
Commencement Statement**

VIRTUAL WEBINAR MEETING

General Rules

Meeting will start at 6:00P.M.

No applications will be heard after 09:30P.M.

All persons testifying before the board must be sworn in.

The Board Chairperson reserves the right to hear applications in any order.

MINUTES FOR ADOPTION

Zoning Board Minutes - *Wednesday, February 12, 2020*

RESOLUTIONS FOR MEMORIALIZATION

#202001C
John L. Frantzis, Jr.

Bulk C Variance
Block: 5001 Lot: 21

#202002C
Cal Atlantic Group, Inc./Lennar
& 18

Bulk C Variance
Block: 17409 Lot: 15, 16, 17

APPLICATIONS FOR REVIEW

#202010C
Mark Morozin
Zoned: R3

Bulk C Variance
Block: 15806 Lot: 5
Location: 101 Monticello Dr., Erial

24' x 24' wood deck 11" off ground w/3' S setbacks

#202009C
I & H Builders LLC
Zoned: R1

Bulk C Variance
Block: 17503 Lot: 5
Location: 26 Rhode Island rd., Sicklerville

SFD 2story w/setbacks: S 21.1'; R 73.47' Maximum Building coverage 8.25%

#202011C
Thomas O'Neil
Zoned: R2

Bulk C Variance
Block: 20501 Lot: 5
Location 1814 Downs Ave., Sicklerville

SFD - Area, Yard, Height, & Bldg. Coverage; Lot size; Side yard

Meeting Adjourned

**GLOUCESTER TOWNSHIP ZONING BOARD OF ADJUSTMENT
WEDNESDAY, FEBRUARY 12, 2020**

Chairman McMullin called the meeting to order. Mr. Lechner read the commencement statement.

Roll Call:

Vice Chairman Simiriglia	Present
Mr. Bucceroni	Absent
Mr. Scarduzio	Present
Mrs. Chiumento	Absent
Mr. Rosati	Present
Mr. Acevedo	Present
Mr. Rosetti	Present
Mr. Treger	Present
Mrs. Kelly	Present
Chairman McMullin	Present

Chairman Simiriglia had the professionals sworn in:

**Also, Present: Mr. Anthony Costa, Zoning Board Solicitor
Mr. James Mellett, P.E., Churchill Engineering
Mr. Ken Lechner, Township Planner**

Mr. Rosetti sits in for Mr. Bucceroni and Mr. Treger sits in for Mrs. Chiumento.

MINUTES FOR ADOPTION

Zoning Board Minutes Wednesday January 22, 2019.

A motion to approve the above-mentioned minutes was made by Mr. Scarduzio and seconded by Mr. Rosati.

Roll Call:

Vice Chairman Simiriglia	Yes
Mr. Scarduzio	Yes
Mr. Rosati	Yes
Mr. Rosetti	Yes
Mrs. Kelly	Yes
Chairman McMullin	Yes

Minutes Approved.**RESOLUTIONS FOR MEMORIALIZATION****Zoning Board of Adjustments 2019 Annual Report.**

Nichol & Doug Moore
Bulk C Variance

Bulk C Variance
Block: 15204 Lot: 6

A motion to approve the above-mentioned resolutions was made by Mr. Rosati and seconded by Mr. Scarduzio.

Roll Call:

Vice Chairman Simiriglia	Yes
Mr. Scarduzio	Yes
Mr. Rosati	Yes
Mr. Rosetti	Yes
Mrs. Kelly	Yes
Chairman McMullin	Yes

Resolutions Approved.

APPLICATIONS FOR REVIEW**#202001C****John L. Frantzis, Jr.****Zoned: R3****Location: 646 Good Intent Rd., Blackwood****Bulk C Variance****Block: 5001 Lot: 21****Carport 24' x 18'; 2nd oversize detached garage 30' x 40' x 12' w/setbacks.**

Mr. Costa swears in Mr. Frantzis.

Mr. Costa asks Mr. Frantzis the reason he cannot meet the ordinance. He is requesting a 1200 sq. ft. garage and 2 garages.

Mr. Frantzis states he is getting rid of 3 sheds to condense into 1 storage shed.

Mr. Lechner states Mr. Frantzis may need a variance for the height if the wall height is over 12'.

Mr. Frantzis states the garage is for personal storage; no commercial use.

Mr. Mellett has the plans for the garage and does the calculation for wall height: it is 13.875' where 14 is maximum.

Mr. Lechner states there is no variance for the garage height needed.

PUBLIC PORTION:

Mr. Costa swears in Mrs. Betty Frantzis. Mrs. Frantzis states they purchased the home in 2017. The car port and sheds were already there. They still have storage at public storage units they would like to get home.

Mr. Costa has trouble with the industrial look of the garage. The décor doesn't fit the neighborhood. Does the company make a garage with windows in this model?

Mr. Frantzis states there is supposed to be windows and a walk-in door.

Mrs. Frantzis states they are going to install horizontal siding. They were told the siding will be horizontal not vertical.

Mr. Frantzis states his neighbor has the same exact shed 30' x 30' and the same height. There will be gutters on the garage and windows (new rendition was found in packet).

Variances for: 2 garages, area of garage, 12' sidewall height

A motion to approve the above-mentioned application with horizontal siding, windows & gutters was made by Mr. Rosati and seconded by Mr. Scarduzio.

Roll Call:

Vice Chairman Simiriglia	Yes
Mr. Scarduzio	Yes
Mr. Rosati	Yes
Mr. Acevedo	Yes
Mr. Rosetti	Yes
Mrs. Treger	Yes
Chairman McMullin	Yes

Application Approved.

#202002C Bulk C Variance
Cal Atlantic Group. /Lennar
Zoned: HC-R3

Block: 17409 Lot: 15,16,17,18
Location: 54,56,58 & 60 Iron Gate

Residential decks with setbacks.

Mr. Nial O'Brien (ESQ.) gives an overview of the application.

Mr. O'Brien states the extension and bulk variances for Iron Gate. It was approved in 2013, last unit was being sold and they were told it doesn't conform. The approvals should be covered until May of 2020. Permits are from 2017 for these units.

- Setbacks are 25' and these two are off by .4 and .5 inches.
- Extension valid to May 2020,
- HC to RA zoning change in 2015 probably caused the issue.
- .4 and .5 inches for the last 2 decks.

Mr. Costa discusses the extension validity to May 2020 with Mr. O'Brien.

- 2 variances and extension of the subdivision
- Lots 15 and 17 variances: where 25' is required and they are off by .4 and .5 inches.

Mr. Costa swears in Mr. Tony Paz (area mgr. Lennar rep), Mr. Joseph Mancini (planner).

Mr. Paz states the last CO's weren't granted because of the .4 and .5 inches.

-After remarketing and rebranding the development everything is sold.
 - the buyer is ready to move into home but we have this unforeseen circumstance.

Mr. Lechner states the decks are built? How did you get a building permit?

Mr. Paz states he has a building permit in hand and this was just a simple oversight.

Mr. Mellett asks if the decks consistent with the rest of the neighborhood?

Mr. Paz "Yes".

PUBLIC PORTION:

Mr. Folers and Mr. Brass are the owners of lots 15 & 17. They state the decks have been standing since the units were built.

Extension of major subdivisions: lots 15 and 17 are 24'6"

A motion to approve the above-mentioned application was made by Mr. Treger and seconded by Mr. Scarduzio.

Roll Call:

Vice Chairman Simiriglia	Yes
Mr. Scarduzio	Yes
Mr. Rosati	Yes
Mr. Acevedo	Yes
Mr. Rosetti	Yes
Mrs. Treger	Yes
Chairman McMullin	Yes

Application Approved.

A motion to Adjourn was made by Mr. Scarduzio and seconded by Mr. Rosati.

Respectfully Submitted, Jean Gomez, Recording Secretary.

RESOLUTION OF FINDINGS AND CONCLUSION

BOARD OF ADJUSTMENT

TOWNSHIP OF GLOUCESTER

APPLICATION # 202002C

Cal Atlantic/Lennar

Block 17409, Lots 15, 16, 17 & 18

WHEREAS, Cal Atlantic/Lennar is the builder of the townhomes with decks in the Sicklerville section of the Township of Gloucester, New Jersey having made application to the Zoning Board of Adjustment of the Township of Gloucester, Camden County, for a variances to permit decks with rear and side yard setbacks less than required for the RA Zone and a 3 year extension of their Major Subdivision approval until May 13, 2020 for the properties located upon Block 17409, Lots 15,16,17 & 18, as shown on the Official Map of the Township of Gloucester, located in a RA Zone, said application being represented by Niall O'Brien, Esq.; and

WHEREAS, the Board after carefully considering the representations made by the applicant at the public hearing held on February 12, 2020 as well as having reviewed the application and evidential exhibits at said hearing, has made the following factual findings and conclusions based thereon;

1. The applicant Cal Atlantic/ Lennar is the builder of the townhomes with decks in the Sicklerville section of Gloucester Township, New Jersey, as shown on Block 17409, Lots 15, 16, 17 & 18, on the Official Tax Map of the Township of Gloucester, located in an RA Zone.

2. Proper notice was afforded all adjacent property owners as provided by the applicable statutes and ordinances, and the applicant provided proof of said notice.

3. All property taxes were paid to date.

4. Niall O'Brien, attorney for the applicant, explained that in 2013 when the subdivision was approved the property was in the HC-Zone and all lots conformed to the setbacks requirements. The zoning was changed from HC to RA and now the applicant needs variances for rear and side yard setbacks. If the Board grants the subdivision extension until May 13, 2020 the lots will all comply with the setback requirements except for lots 15 and 17. Lot 15 and 17 will need a rear yard variance of .4 feet. Mr. O'Brien explained this variance would be de Minimis and would not be a detriment to the area.

5. There were no objections to the application and 2 homeowners spoke in favor of the application.

UPON MOTION duly made and seconded to grant the applicant a the aforesaid variance, the Board voted seven (7) in favor, none (0) against and zero (0) abstentions, thus granting the relief requested; and

WHEREAS, the Board has determined that the relief requested by the applicant may be granted without substantial detriment to the public good and otherwise without impairing the intent and purpose of the Zoning Plan and Ordinances of the Township of Gloucester because of the size and shape of the lot and the Board was of the opinion that the benefits exceed any detriment; and

WHEREAS, the statutory purposes will be advanced by the granting of the relief requested;

NOW THEREFORE BE IT RESOLVED, by the Zoning Board of Adjustment of the Township of Gloucester on this 10th day of June, 2020, the applicant Cal Atlantic is hereby granted the aforesaid variances and extension of the Major subdivision approval until May 13, 2020 for the property located upon Block 17409, Lots 15 and 17 and because of the subdivision

extension variances will not be needed for the other lots as shown on the Official Tax Map of the Township of Gloucester, consistent with the testimony, application and exhibits, same of which are incorporated herein.

ROLL CALL:

LIST NAMES

Carmen Scarduzzio	Yes
Mike Acevedo	Yes
Andy Rosati	Yes
Ken Treger	Yes
Rich Rosetti	Yes
Frank Simiriglia	Yes
Jay McMullin	Yes

**ZONING BOARD OF ADJUSTMENT
TOWNSHIP OF GLOUCESTER**

Jay McMullin

Chairperson

I, Ken Lechner, Secretary of the Board of Adjustment of the Township of Gloucester, do hereby certify the foregoing Resolution is a true and accurate copy of the Resolution adopted by the Zoning Board of Adjustment of the Township of Gloucester on the 10th day of June, 2020.

Ken Lechner, Secretary

Prepared by:
ANTHONY P. COSTA, Esquire

RESOLUTION OF FINDINGS AND CONCLUSION

BOARD OF ADJUSTMENT

TOWNSHIP OF GLOUCESTER

APPLICATION # 202001C

John Frantzis

Block 5001, Lot 21

WHEREAS, John Frantzis is the owner of the land and premises located at 646 Good Intent Road in the Blackwood section of the Township of Gloucester, New Jersey having made application to the Zoning Board of Adjustment of the Township of Gloucester, Camden County, for a variance to permit a detached private garage 1200 sq. ft. instead of the required 800 sq. ft. and to have 2 garages where only 1 is permitted with setbacks for the property located upon Block 5001, Lot 21, as shown on the Official Map of the Township of Gloucester, located in a R-3 Zone, said application being pro-se.; and

WHEREAS, the Board after carefully considering the representations made by the applicant at the public hearing held on February 12, 2020 as well as having reviewed the application and evidential exhibits at said hearing, has made the following factual findings and conclusions based thereon;

1. The applicant John Frantzis is the owner of the land and premises located at 646 Good Intent Road in the Blackwood section of Gloucester Township, New Jersey, as shown on Block 5001, Lot 21, on the Official Tax Map of the Township of Gloucester, located in an R-3 Zone.

2. Proper notice was afforded all adjacent property owners as provided by the applicable statutes and ordinances, and the applicant provided proof of said notice.

3. All property taxes were paid to date.

4. After being sworn, the applicant testified that he is removing the existing 3 sheds on the property and replacing them with detached garage 30' x 40' x 12' high and will be used for personal storage and there will be no commercial activity. The applicant agreed as a condition of approval that the siding will be horizontal not vertical, it will have windows and gutters, 12' sidewall height and will conform to the residential area.

5. There were no objections to the application.

UPON MOTION duly made and seconded to grant the applicant a the aforesaid variance, the Board voted seven (7) in favor, none (0) against and zero (0) abstentions, thus granting the relief requested; and

WHEREAS, the Board has determined that the relief requested by the applicant may be granted without substantial detriment to the public good and otherwise without impairing the intent and purpose of the Zoning Plan and Ordinances of the Township of Gloucester because of the size and shape of the lot and the Board was of the opinion that the benefits exceed any detriment; and

WHEREAS, the statutory purposes will be advanced by the granting of the relief requested;

NOW THEREFORE BE IT RESOLVED, by the Zoning Board of Adjustment of the Township of Gloucester on this 10th day of June, 2020, the applicant John Frantzis is hereby granted the aforesaid variances for the property located upon Block 5001, Lot 21 as shown on the Official Tax Map of the Township of Gloucester, consistent with the testimony, application and exhibits, same of which are incorporated herein.

ROLL CALL:

LIST NAMES

Carmen Scarduzzio	Yes
Mike Acevedo	Yes
Andy Rosati	Yes
Ken Treger	Yes
Rich Rosetti	Yes
Frank Simiriglia	Yes
Jay McMullin	Yes

**ZONING BOARD OF ADJUSTMENT
TOWNSHIP OF GLOUCESTER**

Jay McMullin

Chairperson

I, Ken Lechner, Secretary of the Board of Adjustment of the Township of Gloucester, do hereby certify the foregoing Resolution is a true and accurate copy of the Resolution adopted by the Zoning Board of Adjustment of the Township of Gloucester on the 10th day of June, 2020.

Ken Lechner, Secretary

Prepared by:
ANTHONY P. COSTA, Esquire

TOWNSHIP OF GLOUCESTER

Inter-office Correspondence



TO: Zoning Board of Adjustment
 FROM: Kenneth D. Lechner, PP, AICP, Director/Planner
 Dept. of Community Development & Planning
 RE: **APPLICATION #202010C**
 Mark Morozin
101 Monticello Drive
BLOCK 15806, LOT 5

DATE: March 28, 2020

The applicant requests variance approval for a 24' x 24' deck within the R-3 – Residential District as per the submitted sketch.

I. ZONING INFORMATION

- Zone: R-3 ~ Residential District [\$405].

<u>Standard</u>	<u>Required</u>	<u>Proposed</u>	<u>Complies</u>
Minimum lot size	9,375 sf	9,375 sf	yes
Minimum lot frontage	75 ft.	75 ft.	yes
Minimum lot depth	125 ft.	125 ft.	yes
Maximum building coverage	20%	n/a	n/a
Maximum lot coverage	40%	n/a	n/a
PRINCIPAL BUILDING MINIMUM YARD DEPTHS AND HEIGHT LIMITATIONS			
Front (deck)	30 ft.	±65 ft.	yes
Side yard (deck)	10 ft.	±1 ft.	no*
Rear yard (deck)	30 ft.	±35 ft.	yes
Minimum Useable Yard Area	25%	≥ 25%	yes
Maximum Height	35 ft.	≤ 35 ft.	yes

¹ = Scaled data.

n/a = Not applicable.

* = Variance required.

Variance Expiration: The applicant is advised that variances will expire unless construction commences within two (2) years of the date of the granting of the variance.

II. VARIANCE COMMENTS

The application as submitted requires the following variances:

§405.F – R-3 –Residential District, Area, Yard, Height and Building Coverage

1. Side yard: (±1 ft. provided v. 10 ft. minimum required)

POSITIVE CRITERIA ("C1" and "C2" variances)

The Applicant must address and the Zoning Board of Adjustment consider the following in satisfying the positive criteria for the requested variances:

2. The Board has the power to grant a variance where by reason of exceptional narrowness, shallowness, shape, or topographic conditions or physical features, or an extraordinary and exceptional situation affecting a specific property, the strict application of the zoning regulations would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon the development of such property (basis 40:55D-70c(1)).

Also, the Board has the power to grant a variance when the purpose of the Municipal Land Use Law would be advanced by the deviation of the zoning ordinance and the benefits would substantially outweigh the detriments (basis N.J.S.A. 40:55-70c(2)).

NEGATIVE CRITERIA

The Board should not grant a variance unless it is clearly demonstrated that said variance can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the zone plan and zoning ordinance (basis N.J.S.A. 40:55D-70).

III. NOTICE REQUIREMENTS

The applicant must notice for the following variance:

From Section 405.F, Area, Yard, Height and Building Coverage, to construct a deck approximately one (1) foot from the side property line (10 ft. minimum required).

I have no further comments regarding this application at this time; however, we reserve the right to provide additional comments during the public hearing to advance the planning process.

cc: Mark Morozin
Anthony Costa, Esq.
James Mellett, PE, Churchill Consulting Engineers

Update Permit #13767

TOWNSHIP OF GLOUCESTER

1261 Chews-Landing Clementon Road at Hider Lane

P.O. Box 8 Blackwood, NJ 08012

Community Development & Planning: (856) 374-3500 - FAX: (856) 232-6229

For Office Use Only

Submission Date: _____ Application No. #202010C

Taxes paid, YES NO (Initial)

Fees 160⁰⁰ Project # 13788

Planning Board Zoning Board of Adjustment Redevelopment Entity

Escrow 150⁰⁰ Escr.# 13788

¹ Upon receipt of all fees, documents, plans, taxes paid, etc.

Fire District # _____

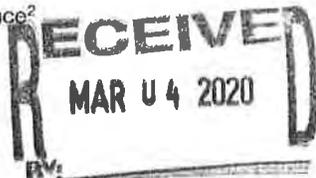
LAND DEVELOPMENT APPLICATION

1. Applicant Name: <u>Mark Morozin</u> Address: <u>101 Monticello Dr.</u> City: <u>Erial</u> State, Zip: <u>N.J 08081</u> Phone: <u>(856) 261-2001</u> Fax: () - Email: <u>MMorozin@comcast.net</u>	2. Owner(s) (List all Owners) Name(s): <u>Teresa Morozin</u> Address: <u>SAME</u> City: _____ State, Zip: _____ Phone: <u>(856) 261-7157</u> Fax: () -
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3. Type of Application. Check as many as apply:

<input type="checkbox"/> Informal Review ²	<input type="checkbox"/> Planned Development ²
<input type="checkbox"/> Minor Subdivision	<input type="checkbox"/> Appeal of Administrative Officer's Decision - "A" Variance
<input type="checkbox"/> Preliminary Major Subdivision ²	<input type="checkbox"/> Interpretation - "B" Variance ²
<input type="checkbox"/> Final Major Subdivision	<input checked="" type="checkbox"/> Bulk "C" Variance ²
<input type="checkbox"/> Minor Site Plan	<input type="checkbox"/> Use "D" Variance ²
<input type="checkbox"/> Preliminary Major Site Plan ²	<input type="checkbox"/> Site Plan Waiver
<input type="checkbox"/> Final Major Site Plan	<input type="checkbox"/> Rezoning Request
<input type="checkbox"/> Conditional Use Approval ²	<input type="checkbox"/> Redevelopment Agreement
<input type="checkbox"/> General Development Plan ²	<input type="checkbox"/> Other _____

² Applicant shall provide public notice in the official newspaper and to all property owners within 200 feet [Basis N.J.S.A. 40:55D-12].



4. Zoning Districts or Redevelopment Areas (Circle all zones or redevelopment area that apply)

ER	R-1	R-2	<u>R-3</u>	R-4	RA	APT
SCR	GCR	SCR-HC	OR	OF	CR	IA-APT
NC	HC	GI	BP	IN	PR	FP
Blackwood West RDAs		G-RD	M-RD	BW-RD	L-RD	Glen Oaks
New Vision	Interchange	College Drive	Lakeland	DESCO	Moffa's Farm	GEMS

5. The following applicants are required to be represented by a New Jersey Attorney: Corporation, Partnership, Limited Liability Corporation and Limited Liability Partnership

Name of Attorney: _____	City: _____
Firm: _____	State, Zip: _____
Address: _____	Phone: () - - Fax: () -
	Email: _____

6. Name of Persons Preparing Plans and Reports:

Name: OWNER
Address: _____
Profession: _____
City: _____
State, Zip: _____
Phone: () - - Fax: () - -
Email: _____

Name: _____
Address: _____
Profession: _____
City: _____
State, Zip: _____
Phone: () - - Fax: () - -
Email: _____

7. Location of Property:

Street Address: 101 Monticello Dr.
Block(s): 15806, Lot(s): 5

8. Land Use:

Existing Land Use (Describe the Application): RESIDENTIAL
Proposed Land Use (Describe the Application): WOOD DECK 24' X 24' (ALREADY BUILT)
11" off ground Setbacks 5 = 3' MIN.

9. Property:

Number of Existing Lots: _____	Proposed Form of Ownership:	
Number of Proposed Lots: _____	<input type="checkbox"/> Fee Simple	<input type="checkbox"/> Cooperative
	<input type="checkbox"/> Condominium	<input type="checkbox"/> Rental
Are there any existing deed restrictions?	<input type="checkbox"/> No <input type="checkbox"/> Yes	(If yes, attach copies)
Are there any proposed deed restrictions?	<input type="checkbox"/> No <input type="checkbox"/> Yes	

10. Utilities: (Check those that apply.)

Public Water Public Sewer Private Well Private Septic System

11. List of Application Submission Materials:

List all additional materials on an additional sheet.

12. List Previous or Pending Applications for this Parcel:

List all applications on a separate sheet.

13. Zoning

All Applications (property dimensions)

Lot frontage 1 75.00'
 Lot frontage 2 (corner lots) _____
 Lot depth 125.00'
 Lot area 9,375.0 SF

Abbreviations/Footnotes

¹ = E.O.P = Edge of pavement
² = Applies to corner lots.

Fence Application

Setback from roadway E.O.P.¹ _____
 Setback from roadway E.O.P. ² (corner lots) _____
 Fence type (i.e. wood, vinyl, etc.) _____
 Fence height _____

Shed Application

Shed area (length x width) _____
 Shed height _____
 Shed wall height _____
 Setback from front property line 1 _____
 Setback from front property line 2² _____
 Setback from side property line _____
 Setback from rear property line _____
 Number of sheds _____
 Distance from other building(s) _____

Garage Application

Garage Area (length x width) _____
 Garage height _____
 Garage wall height _____
 Number of stories _____
 Number of garages _____
 (Includes attached garages if applicable) _____
 Distance from other building(s) _____

Swimming Pool Application

Swimming pool area or diameter _____
 Setback* from front property line 1 _____
 Setback* from front property line 2² _____
 Setback* from side property line _____
 Setback* from rear property line _____
 Distance** from dwelling _____

* Setback = Distance from pool apron.

**Distance = Distance from edge of water.

14. Relief Requested (Variances, Conditional Use, Waivers, Exceptions):

- Check here if zoning variances are required.
- Check here if a conditional use is required.
- Check here if waivers from the Land Development Ordinance's performance and design standards are requested.
- Check here if exceptions to the Residential Site Improvement Standards (RSIS, N.J.A.C. 5:21-3.1) are requested.
- Check here if waivers from the Residential Site Improvement Standards (RSIS, N.J.A.C. 5:21-3.2) are requested.
 - Such waivers require application to and approval from the N.J. Site Improvement Advisory Board].

NOTE: If any of the above are required, attach hereto separate exhibit(s) for each category of relief sought.

15. Signature of Applicant

Mark Moroz
 Signature of Applicant

 Date

 Signature of Co-applicant

 Date

16. Consent of Owner(s):

I, the undersigned, being the owner(s) of the lot or tract described in this application, hereby consent to the making of this application and the approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency. (If owned by a corporation, attach documentation authorizing application and officer signature).

03 MAR 2020

Date

Teresa Morozin
Signature

teresa morozin
Print Name

Sworn and Subscribed to before me this

3rd day of March

2020 (Year). Joy C Kennedy
Signature

Signature

Print Name

17. Disclosure Statement (Pursuant to N.J.S.A. 40:55D-48.1 and 48.2):

Complete each of the following sections (attached names and addresses, if applicable):

- A. Is this application to subdivide a parcel of land into six or more lots?
- B. Is this application for a variance to construct a multiple dwelling of 25 or more family units?
- C. Is this application for approval on a site or sites for commercial purposes?
- D. Is the applicant a corporation?
- E. Is the applicant a limited liability corporation?
- F. Is the applicant a partnership?

- No Yes

IF YES TO ANY OF THE ABOVE:

1. List the names and addresses of all stockholders or individual partners owning at least 10 percent of its stock of any class or at least 10 percent of the interest in partnership, as the case may be. (Use additional sheets as necessary).
2. Does a corporation or partnership own 10 percent or more of the stock in this corporation or partnership?

IF YES:

List the names and addresses of the stockholders of that corporation holding 10 percent or more of the stock or 10 percent or greater interest in that partnership, as the case may be. This requirement is to be followed by every corporate stockholder or partnership, until the names and addresses of the non-corporate stockholder and individual partners with 10 percent or more ownership have been listed. (Use additional sheets as necessary).

- No Yes

Mark Morozin
Signature of Applicant

03/03/2020
Date

Mark Morozin
Print Name

18. Survey / sketch plat waiver certification:

As of the date of this application, I hereby certify that the survey / sketch plat submitted with this application, under the date of _____, shows and discloses the premises in its entirety, described as Block 15806 Lot 5; and I further certify that no buildings, fences or other facilities have been constructed, installed or otherwise located on the premises after the date of the survey / sketch plat with the exception of the structures shown.

State of New Jersey,
County of Camden:
Teresa Morozin of full age, being duly sworn to law, on oath and says that all of the above statement herein is true.

Sworn and subscribed to
On this 3rd day of March
2020 before the following authority.

Teresa Morozin
Name of property owner or applicant

Joy C Kennedy
Notary public



Joy C Kennedy
State of New Jersey
Notary Public
Commission No. 2433142
My Commission Expires 04/25/2023

ZONING PERMIT DENIED

101 MONTICELLO DR
Block/Lot 15806/5

Applicant
MOROZIN TERESA M
101 MONTICELLO DRIVE
SICKLERVILLE NJ 08081

Real Estate Owner
MOROZIN TERESA M
101 MONTICELLO DRIVE
SICKLERVILLE NJ 08081

*This is to certify that the above-named applied for a permit to/authorization for.
A 24' x 24' deck as per the submitted sketch can not be approved as submitted. This application
for approval is hereby denied*

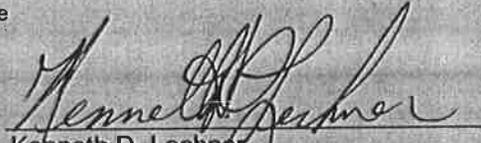
Zone
R3
Application is
Denied

Comments on Decision:

A side yard setback variance is required from the Zoning Board of Adjustment: Side yard yard: (3 ft. provided v 10 ft. minimum required).

Additional permits must be obtained through the Construction Office

Gloucester Township
P O Box 8
Blackwood, NJ 08012
(856)228-4000 FAX(856)232-6229


Kenneth D. Lechner
Temporary Zoning Officer
February 26, 2020

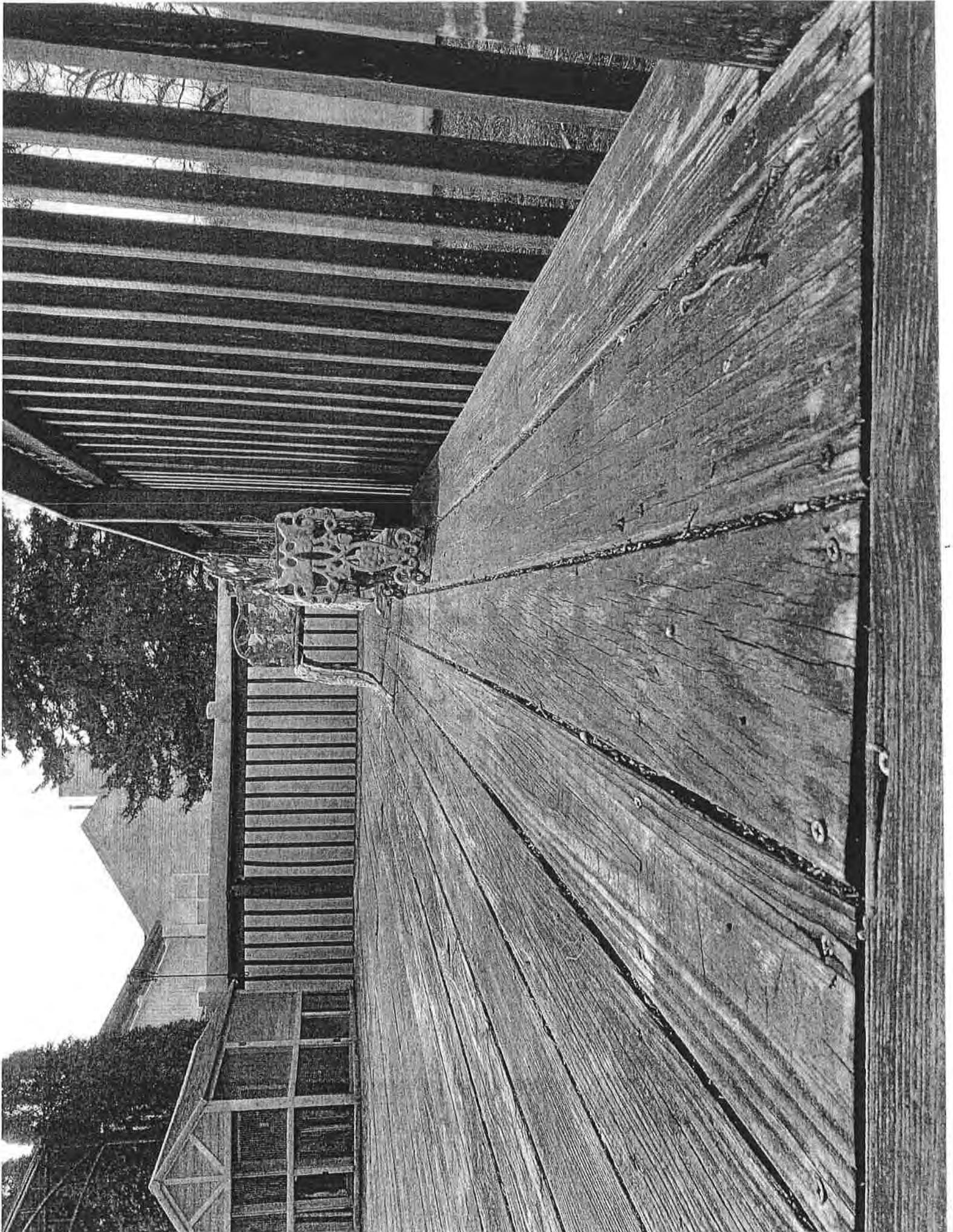
Applic No. 13767
8168

Cut Here

Spoke w/ owner
and emailed
Denial
2/27/20
Jones

Deliver to...

MOROZIN TERESA M
101 MONTICELLO DRIVE
SICKLERVILLE NJ 08081









Commissioners
Richard P. Calabrese
Chairman
Joseph Pillo
Vice Chairman

Board Members
Frank Schmidt
Ken Garbowski
Dorothy Bradley
Alisa Smith
Frank Dintino

Raymond J. Carr
Executive Director

Marlene Hrynio
Administrative Secretary

Christopher F. Long, Esq.
Solicitor

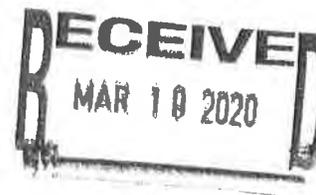
Thomas Leisse, PE, CME
Consulting Engineer

THE GLOUCESTER TOWNSHIP MUNICIPAL UTILITIES AUTHORITY

401 W. Landing Road, Blackwood, NJ 08012
P.O. Box 216, Glendora, NJ 08029-0216
Phone: (856) 227-8666 • FAX: (856) 227-5668
March 9, 2020

Township of Gloucester
Dept. of Community Development
P.O. Box 8
Blackwood, New Jersey 08012

Re: Application #202010C
Mark Morozin
101 Monticello Drive, Erial, NJ 08081
Block 15806, Lot 5



Gentlemen:

In response to your transmittal regarding the above application, approval will have no effect on the sanitary sewer system.

Should you have any further questions, please feel free to contact me.

Very truly yours,

**THE GLOUCESTER TOWNSHIP
MUNICIPAL UTILITIES AUTHORITY**

A handwritten signature in black ink, appearing to read "RJC", written over a faint, illegible background.

Raymond J. Carr
Executive Director

RJC:mh

Bin# 64

B

TOWNSHIP OF GLOUCESTER ZONING BOARD TRANSMITTAL

DATE: March 4, 2020

APPLICATION No. #202010C

APPLICANT: MARK MOROZIN

PROJECT No. 13788

BLOCK(S): 15806 LOT(S): 5

LOCATION: 101 MONTICELLO DR., ERIAL

TRANSMITTAL TO:

- | | | | | | |
|--------------------------|------------------------------|-------------------------------------|----------------------|--------------------------|---------------------------|
| <input type="checkbox"/> | Township Engineer | <input type="checkbox"/> | Zoning Board Planner | <input type="checkbox"/> | Tax Assessor |
| <input type="checkbox"/> | Camden County Planning Board | <input type="checkbox"/> | Traffic Officer | <input type="checkbox"/> | G.T.M.U.A. |
| <input type="checkbox"/> | N.J. American Water Co. | <input type="checkbox"/> | Aqua N.J. Water Co. | <input type="checkbox"/> | Fire District 1 2 3 4 5 6 |
| <input type="checkbox"/> | Taxes | <input checked="" type="checkbox"/> | Construction | | |

STATUS OF APPLICATION:

- New Application - Bulk C Revision to Prior Application

PURPOSE OF TRANSMITTAL:

- For Your Review. **Please Forward Report by March 16, 2020**
 For Your Files.

ENCLOSED:

- 2 Copies - Minor Subdivision Plat, 2 County Apps. 1 Twp. App.
- 1 Copy - Minor Site Plan
- 1 Copy - Minor Subdivision Plat
- 3 Copies - Preliminary. Site Plan, 2 County Apps and 1 Twp. App.
- 3 Copies - Major Subdivision - Preliminary. Plat, 2 County Apps. 1 Twp. App.
- 1 Copy - Major Subdivision - Preliminary. Plat
- 1 Copy - Preliminary Site Plan
- 1 Copy - Major Subdivision - Final Plat
- 1 Copy - Final Site Plan
- 3 Copies - Major Subdiv. - Final Plat, 1 Dev. Plan, 2 County Apps. 1 Twp. App.
- 1 Copy - Amended Site Plan
- 1 Copy - Major Subdivision - Amended Plat
- 1 Copy - Traffic Report
- 1 Copy - Development Plan
- 1 Copy - Drainage Calculations
- 1 Copy - E.I.S.
- Recycling Report

- Variance Plan Bulk (C) Variance Use (D) Variance



3-10-20 JWG Bldg - Site Plan OK - will require a
 Construction Permit, Plans +
 Inspections.

Signature

Jeanne
 Please Type Note
 for Ken +
 Thank you



*Township Of Gloucester
Construction Department
1261 Chews Landing Road, Blackwood, NJ 08012
(856) 374-3500
Fax (856) 232-6229*

Date: March 10, 2020

To: Ken Lechner

From: Jim Gallagher

Re: Site Plan Review

Applicant: Mark Morozin

Site: 101 Monticello Dr

Block: 15806 Lot: 5

Application #: 202010C

- 1. Site plan OK. Will require a construction permit, plans & inspections.*

Thank you,

*Jim Gallagher
Building SubCode Official*

TOWNSHIP OF GLOUCESTER ZONING BOARD TRANSMITTAL

DATE: March 4, 2020

APPLICATION No. #202010C

APPLICANT: MARK MOROZIN

PROJECT No. 13788

BLOCK(S): 15806 LOT(S): 5

LOCATION: 101 MONTICELLO DR., ERIAL

TRANSMITTAL TO:

- | | | | | | |
|--------------------------|------------------------------|--------------------------|----------------------|-------------------------------------|---------------------------|
| <input type="checkbox"/> | Township Engineer | <input type="checkbox"/> | Zoning Board Planner | <input checked="" type="checkbox"/> | Tax Assessor |
| <input type="checkbox"/> | Camden County Planning Board | <input type="checkbox"/> | Traffic Officer | <input type="checkbox"/> | G.T.M.U.A. |
| <input type="checkbox"/> | N.J. American Water Co. | <input type="checkbox"/> | Aqua N.J. Water Co. | <input type="checkbox"/> | Fire District 1 2 3 4 5 6 |
| <input type="checkbox"/> | Taxes | <input type="checkbox"/> | Construction | | |

STATUS OF APPLICATION:

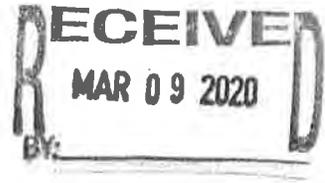
- New Application - Bulk C Revision to Prior Application

PURPOSE OF TRANSMITTAL:

- For Your Review. **Please Forward Report by March 16, 2020**
 For Your Files.

ENCLOSED:

- 2 Copies - Minor Subdivision Plat, 2 County Apps. 1 Twp. App.
- 1 Copy - Minor Site Plan
- 1 Copy - Minor Subdivision Plat
- 3 Copies - Preliminary. Site Plan, 2 County Apps and 1 Twp. App.
- 3 Copies - Major Subdivision - Preliminary. Plat, 2 County Apps. 1 Twp. App.
- 1 Copy - Major Subdivision - Preliminary. Plat
- 1 Copy - Preliminary Site Plan
- 1 Copy - Major Subdivision - Final Plat
- 1 Copy - Final Site Plan
- 3 Copies - Major Subdiv. - Final Plat, 1 Dev. Plan, 2 County Apps. 1 Twp. App.
- 1 Copy - Amended Site Plan
- 1 Copy - Major Subdivision - Amended Plat
- 1 Copy - Traffic Report
- 1 Copy - Development Plan
- 1 Copy - Drainage Calculations
- 1 Copy - E.I.S.
- Recycling Report



- Variance Plan Bulk (C) Variance Use (D) Variance

Signature

[Handwritten Signature]
 Assesors
 3/5/20

*Doesn't seem to be an issue
 but 3' from prop line
 very close. Instead of 24'
 just make it 20 —*

TOWNSHIP OF GLOUCESTER

Inter-office Correspondence



TO: Zoning Board of Adjustment
 FROM: Kenneth D. Lechner, PP, AICP, Director/Planner
 Department of Community Development & Planning
 RE: **APPLICATION #202009C**
I & H Builders, LLC
BLOCK 17503, LOT 5
 DATE: March 28, 2020

The above application is to permit a proposed single-family detached dwelling as per the submitted variance plan within the R-1 - Residential District. The property is located on the northeast side of Rhode Island Road southeast of Jarvis Road.

Applicant/Owner: I & H Builders, LLC, 689 Woodstown Road, Swedesboro, NJ 08085 (telephone #610-299-9739).
 Surveyor: Erik F. Valentin, PLS, Ewing Associates, 900B No. Delsea Drive, P.O. Box 145, Clayton, NJ 08312 (telephone #856-881-4931).
 Attorney: Andrew S. Viola, Esq., Albano Viola, LLC, 735 N/. Black Horse Pike, Runnemede, NJ 08078 (telephone #856-939-0717).

I. INFORMATION SUBMITTED

1. Land Development Application Form and Checklist dated 3/03/20.
2. Variance Plan, as prepared by Ewing Associates, comprising one (1) sheet dated 7/02/19.
3. Architectural Plans (Isabella Model), as prepared by Bishop & Smith, comprising ten (10) sheets.

II. ZONING INFORMATION

1. Zone: R-1 ~ Residential District [§403].

<u>Standard</u>	<u>Required</u>	<u>Proposed</u>	<u>Complies</u>
Minimum lot size	1 ac.	0.33 ac.	no*
Minimum lot frontage	125 ft.	75 ft.	no*
Minimum lot depth	200 ft.	158.47 ft.	no*
Maximum building coverage	15%	8.25%	yes
Maximum lot coverage	30%	±15%	yes
PRINCIPAL BUILDING MINIMUM YARD DEPTHS AND HEIGHT LIMITATIONS			
Front yard	50 ft.	50 ft.	yes
Side yard	25 ft.	25 ft.	yes
Side yard	25 ft.	21.10 ft.	no*
Rear yard	75 ft.	73.47 ft.	no*
Minimum Useable Yard Area	25%	≥ 25%	yes
Maximum Height	35 ft.	30 ft.	yes

* = Variance required.

Variance Expiration: The applicant is advised that variances will expire unless construction commences within two (2) years of the date of the granting of the variance.

III. VARIANCE COMMENTS

The application as submitted requires the following variances:

§401.F, Area, Yard, Height and Building Coverage

1. Lot size: (0.33 ac. provided v. 1 ac. minimum required).
2. Lot frontage: (75 ft. provided v. 125 ft. minimum required).
3. Lot depth: (158.47 ft. provided v. 200 ft. minimum required).
4. Side yard: (21.10 ft. provided v. 25 ft. minimum required).
5. Rear yard: (73.47 ft. provided v. 75 ft. minimum required).

POSITIVE CRITERIA ("C1" and "C2" variances)

The Applicant should address and the Zoning Board of Adjustment consider the following in satisfying the positive criteria for the required variances:

6. The Board has the power to grant a variance where by reason of exceptional narrowness, shallowness, shape, or topographic conditions or physical features, or an extraordinary and exceptional situation affecting a specific property, the strict application of the zoning regulations would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon the development of such property (basis 40:55D-70c(1)).

Also, the Board has the power to grant a variance when the purpose of the Municipal Land Use Law would be advanced by the deviation of the zoning ordinance and the benefits would substantially outweigh the detriments (basis N.J.S.A. 40:55-70c(2)).

NEGATIVE CRITERIA

The Board should not grant a variance unless it is clearly demonstrated that said variance can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the zone plan and

I have no further comments regarding this application at this time; however, reserve the right to provide additional comments during the public hearing to advance the planning process.

cc: Andrew S. Viola, Esq.
Anthony Costa, Esq.
James Mellett, PE

Update Permit # 13349

TOWNSHIP OF GLOUCESTER

1261 Chews-Landing Clementon Road at Hider Lane

P.O. Box 8 Blackwood, NJ 08012

Community Development & Planning: (856) 374-3500 – FAX: (856) 232-6229

For Office Use Only

Submission Date: _____ Application No: #202009C

Taxes paid YES NO (Initial) SV

Fees 150⁰⁰ Project # 13780

Planning Board Zoning Board of Adjustment Redevelopment Entity

Escrow 150⁰⁰ Escr.# 13780

¹ Upon receipt of all fees, documents, plans, taxes paid, etc.

Fire District # _____

LAND DEVELOPMENT APPLICATION

1. Applicant

Name: I & H Builders, LLC

Address: 689 Woodstown Road

City: Swedesboro

State, Zip: New Jersey, 08085

Phone: (610) 299-9739 Fax: () - -

Email: iandhbuilders@gmail.com

2. Owner(s) (List all Owners)

Name(s): Same

Address: _____

City: _____

State, Zip: _____

Phone: () - - Fax: () - -

3. Type of Application. Check as many as apply:

- | | |
|---|---|
| <input type="checkbox"/> Informal Review ² | <input type="checkbox"/> Planned Development ² |
| <input type="checkbox"/> Minor Subdivision | <input type="checkbox"/> Appeal of Administrative Officer's Decision – "A" Variance |
| <input type="checkbox"/> Preliminary Major Subdivision ² | <input type="checkbox"/> Interpretation – "B" Variance ² |
| <input type="checkbox"/> Final Major Subdivision | <input checked="" type="checkbox"/> Bulk "C" Variance |
| <input type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Use "D" Variance |
| <input type="checkbox"/> Preliminary Major Site Plan ² | <input type="checkbox"/> Site Plan Waiver |
| <input type="checkbox"/> Final Major Site Plan | <input type="checkbox"/> Rezoning Request |
| <input type="checkbox"/> Conditional Use Approval ² | <input type="checkbox"/> Redevelopment Agreement |
| <input type="checkbox"/> General Development Plan ² | <input type="checkbox"/> Other _____ |



² Applicant shall provide public notice in the official newspaper and to all property owners within 200 feet [Basis N.J.S.A. 40:55D-12].

4. Zoning Districts or Redevelopment Areas (Circle all zones or redevelopment area that apply)

ER	<u>R-1</u>	R-2	R-3	R-4	RA	APT
SCR	GCR	SCR-HC	OR	OF	CR	IA-APT
NC	HC	GI	BP	IN	PR	FP
Blackwood West RDAs	G-RD	M-RD	BW-RD	L-RD	Glen Oaks	
New Vision	Interchange	College Drive	Lakeland	DESCO	Moffa's Farm	GEMS

5. The following applicants are required to be represented by a New Jersey Attorney: Corporation, Partnership, Limited Liability Corporation and Limited Liability Partnership

Name of Attorney: <u>Andrew S. Viola, Esq.</u>	City: <u>Runnemede</u>
Firm: <u>Albano Viola, LLC</u>	State, Zip: <u>New Jersey 08078</u>
Address: <u>735 N. Black Horse Pike</u>	Phone: <u>(856) 939-2504</u> Fax: <u>(856) 939-0717</u>
	Email: <u>asv@albanoviola.com</u>

6. Name of Persons Preparing Plans and Reports:

Name: Ewing Associates
Address: 900 B No. Delsea Drive
Profession: Land Surveyor
City: Clayton
State, Zip: New Jersey 08312
Phone: (856) 881-4931 Fax: () -
Email: _____

Name: _____
Address: _____
Profession: _____
City: _____
State, Zip: _____
Phone: () - Fax: () -
Email: _____

7. Location of Property:

Street Address: 26 Rhode Island Road
Block(s): 17503, Lot(s): 5

8. Land Use:

Existing Land Use (Describe the Application): vacant lot
Proposed Land Use (Describe the Application): Single family dwelling, two story, 3-4 bedrooms,
Front yard setback - 50' (conforming), Side yard setbacks - 25' (conforming) 21.10'
(variance request), Rear yard setback - 73.47' (variance request), Maximum building
coverage - 8.25% (variance request), Maximum building height - 30' (conforming)

9. Property:

Number of Existing Lots: <u>1</u>	Proposed Form of Ownership:	
Number of Proposed Lots: <u>1</u>	<input checked="" type="checkbox"/> Fee Simple	<input type="checkbox"/> Cooperative
	<input type="checkbox"/> Condominium	<input type="checkbox"/> Rental
Are there any existing deed restrictions?	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	(If yes, attach copies)
Are there any proposed deed restrictions?	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	

10. Utilities: (Check those that apply.)

Public Water Public Sewer Private Well Private Septic System

11. List of Application Submission Materials:

List all additional materials on an additional sheet.

12. List Previous or Pending Applications for this Parcel:

List all applications on a separate sheet.

13. Zoning

All Applications (property dimensions)

Lot frontage 1 75'
 Lot frontage 2 (corner lots) _____
 Lot depth 158.47'
 Lot area .33 acres

Abbreviations/Footnotes

¹ = E.O.P = Edge of pavement
² = Applies to corner lots.

Fence Application

Setback from roadway E.O.P.¹ _____
 Setback from roadway E.O.P.² (corner lots) _____
 Fence type (i.e. wood, vinyl, etc.) _____
 Fence height _____

Shed Application

Shed area (length x width) _____
 Shed height _____
 Shed wall height _____
 Setback from front property line 1 _____
 Setback from front property line 2² _____
 Setback from side property line _____
 Setback from rear property line _____
 Number of sheds _____
 Distance from other building(s) _____

Garage Application

Garage Area (length x width) _____
 Garage height _____
 Garage wall height _____
 Number of stories _____
 Number of garages _____
 (Includes attached garages if applicable) _____
 Distance from other building(s) _____

Swimming Pool Application

Swimming pool area or diameter _____
 Setback* from front property line 1 _____
 Setback* from front property line 2² _____
 Setback* from side property line _____
 Setback* from rear property line _____
 Distance** from dwelling _____
 * Setback = Distance from pool apron.
 **Distance = Distance from edge of water.

14. Relief Requested (Variances, Conditional Use, Waivers, Exceptions):

- Check here if zoning variances are required.
 Check here if a conditional use is required.
 Check here if waivers from the Land Development Ordinance's performance and design standards are requested.
 Check here if exceptions to the Residential Site Improvement Standards (RSIS, N.J.A.C. 5:21-3.1) are requested.
 Check here if waivers from the Residential Site Improvement Standards (RSIS, N.J.A.C. 5:21-3.2) are requested.
 • Such waivers require application to and approval from the N.J. Site Improvement Advisory Board].

NOTE: If any of the above are required, attach hereto separate exhibit(s) for each category of relief sought.

15. Signature of Applicant

Therese Yaman, Member
 Signature of Applicant

2/18/20

 Date

 Signature of Co-applicant

 Date

16. Consent of Owner(s):

I, the undersigned, being the owner(s) of the lot or tract described in this application, hereby consent to the making of this application and the approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency. **(If owned by a corporation, attach documentation authorizing application and officer signature).**

2/18/20

Date

Signature

Vince Yanni

Vince Yanni, Member, I & H Builders, LLC
Print Name

Sworn and Subscribed to before me this

18th day of February
2020 (Year). *Leslie M. Barth*

Signature

Print Name

Leslie M. Barth
NOTARY PUBLIC
ID # 2427786

17. Disclosure Statement (Part of N.J.S.A. 40:55D-48.1 and 48.2):

Complete each of the following sections (attached names and addresses, if applicable):

- A. Is this application to subdivide a parcel of land into six or more lots?
- B. Is this application for a variance to construct a multiple dwelling of 25 or more family units?
- C. Is this application for approval on a site or sites for commercial purposes?
- D. Is the applicant a corporation?
- E. Is the applicant a limited liability corporation?
- F. Is the applicant a partnership?

- No Yes

IF YES TO ANY OF THE ABOVE:

1. List the names and addresses of all stockholders or individual partners owning at least 10 percent of its stock of any class or at least 10 percent of the interest in partnership, as the case may be. (Use additional sheets as necessary).
2. Does a corporation or partnership own 10 percent or more of the stock in this corporation or partnership?

IF YES:

List the names and addresses of the stockholders of that corporation holding 10 percent or more of the stock or 10 percent or greater interest in that partnership, as the case may be. This requirement is to be followed by every corporate stockholder or partnership, until the names and addresses of the non-corporate stockholder and individual partners with 10 percent or more ownership have been listed. (Use additional sheets as necessary).

- No Yes

Vince Yanni, Member
Signature of Applicant

Steve DeVito, Member
689 Woodstown Rd.
Swedesboro, NJ 08085

2/18/20
Date

Vince Yanni, Member
Print Name

18. Survey / sketch plat waiver certification:

As of the date of this application, I hereby certify that the survey / sketch plat submitted with this application, under the date of 7/2/19, shows and discloses the premises in its entirety, described as Block 17503 Lot 5; and I further certify that no buildings, fences or other facilities have been constructed, installed or otherwise located on the premises after the date of the survey / sketch plat with the exception of the structures shown.

**State of New Jersey,
County of Camden:**

Vince Yanni of full age, being duly sworn to law, on oath and says that all of the above statement herein is true.

Sworn and subscribed to
On this 18th day of February
2020 before the following authority.

Vince Yanni, Member, I & H Builders, LLC
Name of property owner or applicant

Leslie M. Barth
Notary public

Leslie M. Barth
NOTARY PUBLIC
State of New Jersey
ID # 2427786
My Comm. Expires December 10, 2022

ZONING PERMIT DENIED

26 RHODE ISLAND RD
Block/Lot 17503/5

Applicant
I&H Builders
689 Woodstown Rd
Swedesboro, NJ 08055

Real Estate Owner
GLOUCESTER TOWNSHIP
PO BOX 8
BLACKWOOD NJ 08012

This is to certify that the above-named applied for a permit to/authorization for a proposed 1665sq.ft Single Family Dwelling. This application for approval is hereby denied

Zone
R1
Application is
Denied

Comments on Decision:

Lot is undersized - must be 125'X200', rear setback is 75' and side setback is 25'. A variance approval is required prior to issuance of permit

Additional permits must be obtained through the Construction Office

Gloucester Township
P O Box 8
Blackwood NJ 08012
(856)228-4000 FAX(856)232-6229

Ailsa Ortiz
Zoning Officer
July 17, 2019

Applic No. 13349

Cut Here

Deliver to...

I&H Builders
689 Woodstown Rd
Swedesboro, NJ 08055



NOTES:

1. THE APPLICANT OF THIS PLAN IS TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
2. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
3. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
4. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

OWNER & APPLICANT:

NAME OF APPLICANT: _____

ADDRESS: _____

CITY: _____

STATE: _____

ZIP: _____

APPROVALS:

PLANNING COMMISSION: _____

ZONING BOARD: _____

HEALTH DEPARTMENT: _____

WATER DEPARTMENT: _____

SEWER DEPARTMENT: _____

ENGINEER: _____

PROJECT INFORMATION:

PROJECT NAME: _____

PROJECT ADDRESS: _____

PROJECT CITY: _____

PROJECT STATE: _____

PROJECT ZIP: _____

PROJECT SCALE:

1" = 100'

ERIK F. VALENTIN

Professional Engineer

License No. 10000



PROPERTY INFORMATION:

TRACT NO. _____

SECTION _____

TOWNSHIP _____

RANGE _____

COUNTY _____

STATE _____

PROPOSED STRUCTURES:

STRUCTURE 1: _____

STRUCTURE 2: _____

STRUCTURE 3: _____

PROPOSED EASEMENTS:

EASEMENT 1: _____

EASEMENT 2: _____

PROPOSED UTILITIES:

UTILITY 1: _____

UTILITY 2: _____

PROPOSED LANDSCAPE:

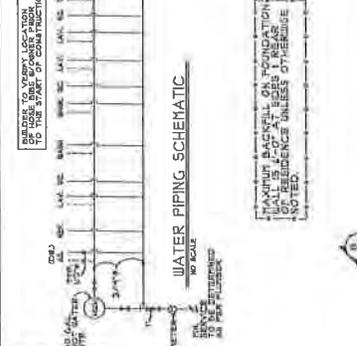
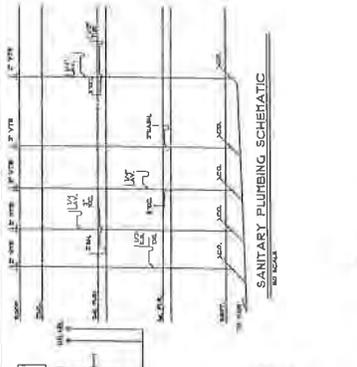
LANDSCAPE 1: _____

LANDSCAPE 2: _____

PROPOSED SIGNAGE:

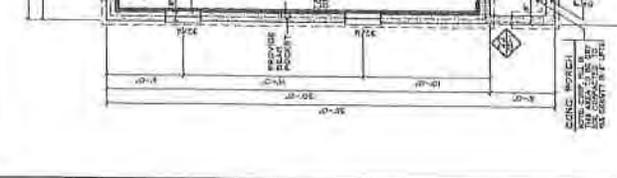
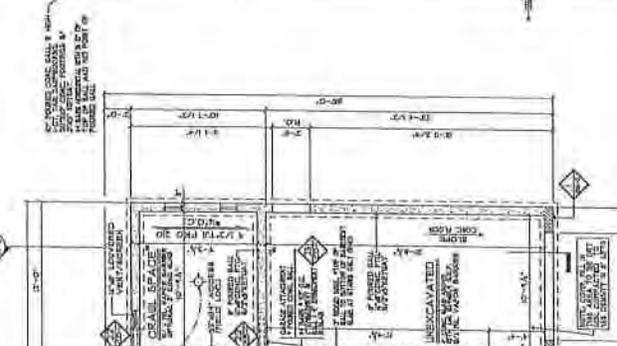
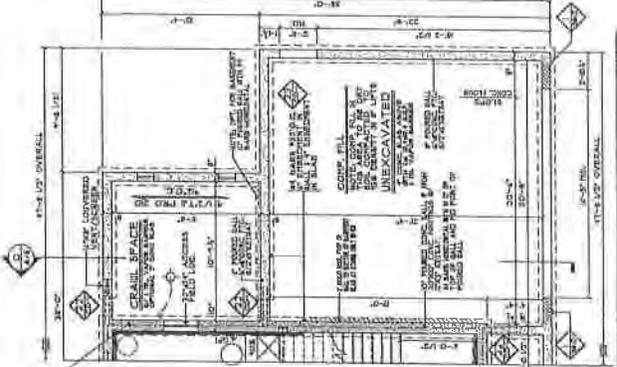
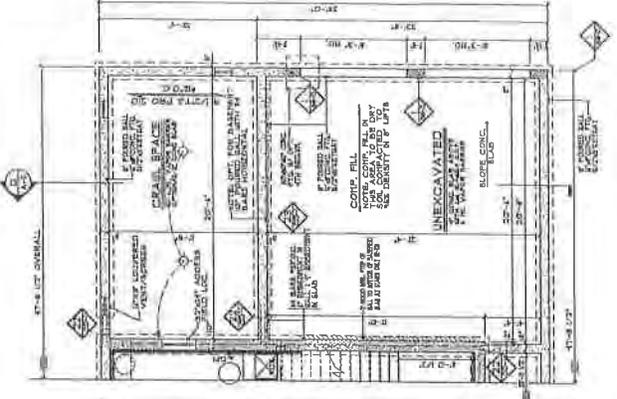
SIGNAGE 1: _____

SIGNAGE 2: _____



GRADE & SWEETELL CONDITIONS
 THE GRADE SHOWN IS THE FINISHED GRADE. THE GRADE MAY VARY FROM THE FINISHED GRADE. THE GRADE SHALL BE VERIFIED PRIOR TO CONSTRUCTION. THE GRADE SHALL BE VERIFIED PRIOR TO CONSTRUCTION. THE GRADE SHALL BE VERIFIED PRIOR TO CONSTRUCTION.

NOTE:
 ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2012 INTERNATIONAL PLUMBING CODE BOOK (IPC). ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2012 INTERNATIONAL PLUMBING CODE BOOK (IPC). ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2012 INTERNATIONAL PLUMBING CODE BOOK (IPC).



GRADE & SWEETELL CONDITIONS
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ISABELLA MODEL
 RESIDENCE
 DATE: 11-10-10
 DRAWN BY: J.S.S.
 SCALE: 1/4"=1'-0"

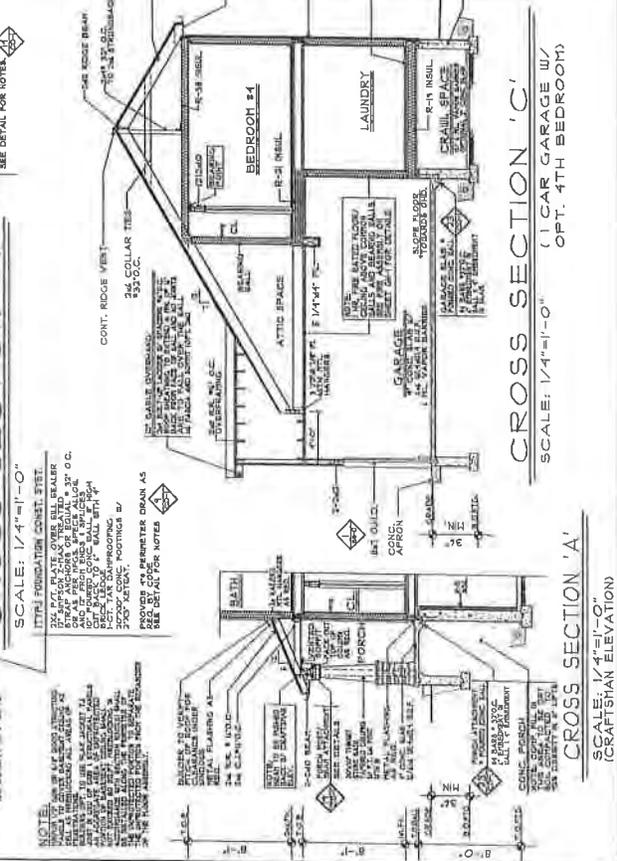
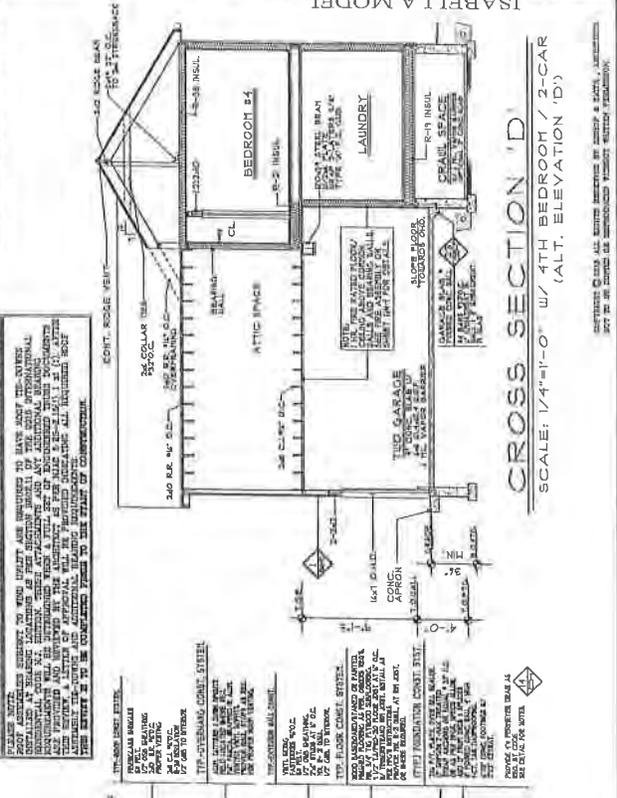
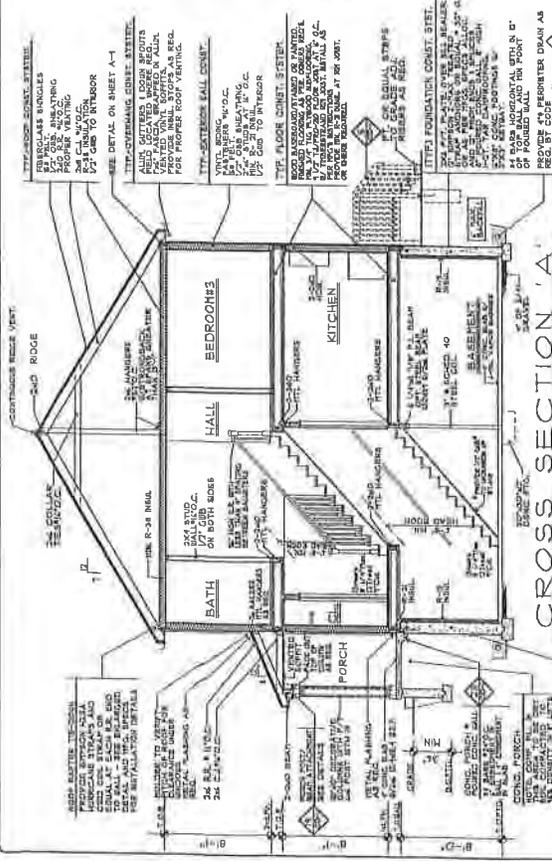
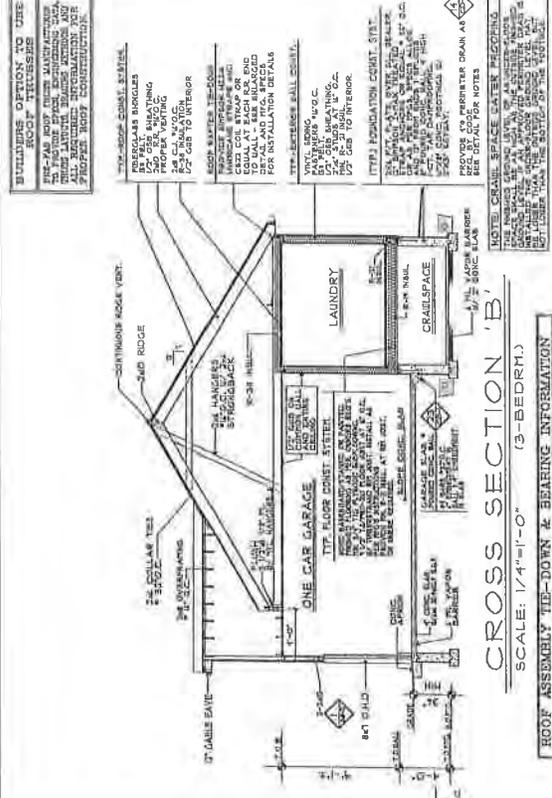
END SIDE ENTRY GARAGE
 SCALE: 1/4"=1'-0" (W/OPT. STUDY)

END TWO CAR GARAGE
 SCALE: 1/4"=1'-0"

FOUNDATION PLAN
 SCALE: 1/4"=1'-0" OPT. 9'-0" WALL HEIGHT

BACKFILL DETAIL
 SCALE: 1/4"=1'-0"

PERIMETER DRAIN
 SEE DETAILS



BUILDERS OPTION TO USE ROOF TRUSSES

USE 2x6 ROOF TRUSS MANUFACTURED BY WOOD BRIDGES, APPROVED BY LOCAL BUILDING DEPARTMENT. TRUSSES SHALL BE SPACED AT 24" O.C. TO MATCH THE TRUSS MANUFACTURER'S REQUIREMENTS. PROVIDE 1/2" GIBBS TO INTERIOR.

TRUSS-TO-ROOF JOIST DETAIL

TRUSS TO ROOF JOIST CONNECTION SHALL BE MADE BY FULL PENETRATING WELDS. PROVIDE 1/2" GIBBS TO INTERIOR.

TRUSS-TO-FOUNDATION DETAIL

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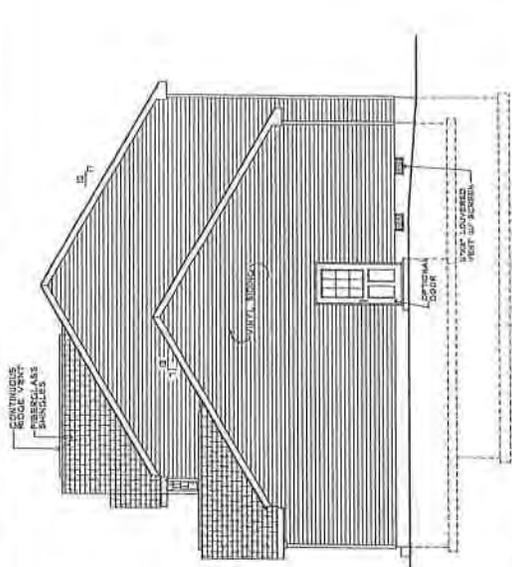
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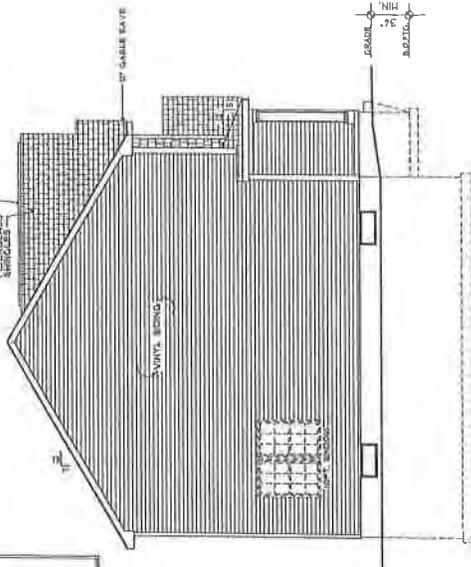
TRUSS-TO-FOUNDATION DETAIL

TRUSS-TO-FOUNDATION CONNECTION SHALL BE MADE BY FULL PENETRATING WELDS. PROVIDE 1/2" GIBBS TO INTERIOR.

STANDARD ELEVATIONS
ISABELLA MODEL

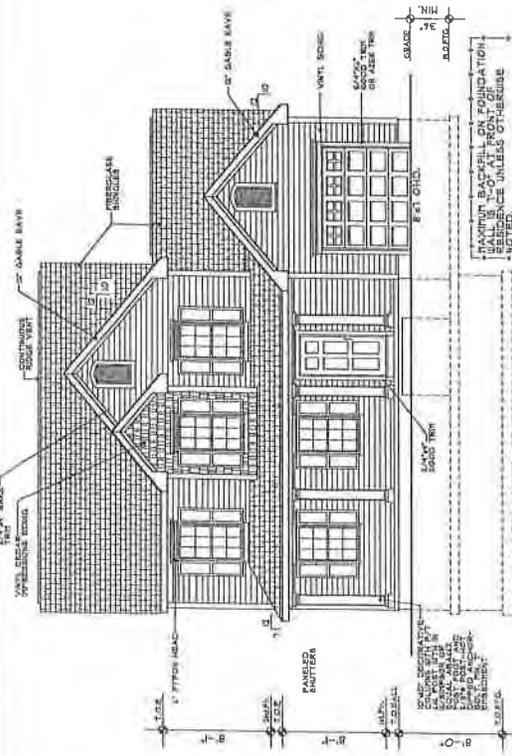
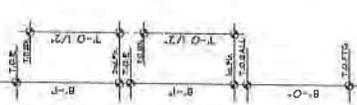
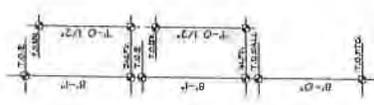


RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

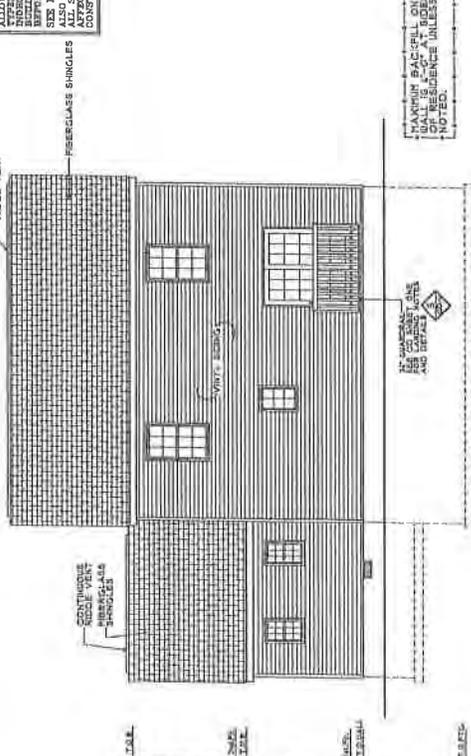


LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

GRADE & BACKFILL CONDITIONS
THE GRADE REPORT SHOWS SOIL TYPES MAY NOT NECESSARILY REPRESENT FINAL GRADE HEIGHTS. ALLOWABLE HEIGHTS, WHEN THE FOLLOWING SOIL TYPES ARE ENCOUNTERED, SHALL BE AS FOLLOWS:
TYPE 1: ALL SOILS TO GRADE AND TO GARAGES WILL BE APPROVED AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.
TYPE 2: SEE BACKFILL DETAIL FOR TYPICAL INFORMATION.
TYPE 3: SEE BACKFILL DETAIL FOR TYPICAL INFORMATION.
TYPE 4: SEE BACKFILL DETAIL FOR TYPICAL INFORMATION.
TYPE 5: SEE BACKFILL DETAIL FOR TYPICAL INFORMATION.
TYPE 6: SEE BACKFILL DETAIL FOR TYPICAL INFORMATION.
TYPE 7: SEE BACKFILL DETAIL FOR TYPICAL INFORMATION.
TYPE 8: SEE BACKFILL DETAIL FOR TYPICAL INFORMATION.
TYPE 9: SEE BACKFILL DETAIL FOR TYPICAL INFORMATION.
TYPE 10: SEE BACKFILL DETAIL FOR TYPICAL INFORMATION.



FRONT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"

MAXIMUM BACKFILL ON FOUNDATION OF RESIDENCE UNLESS OTHERWISE NOTED.

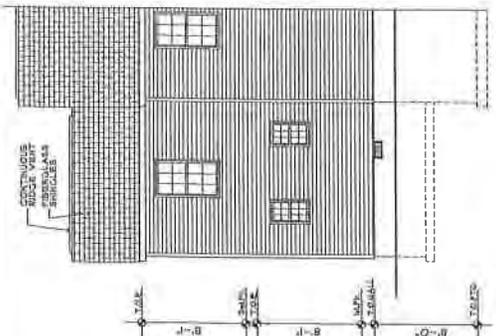
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www.bishopandsmith-architects.com

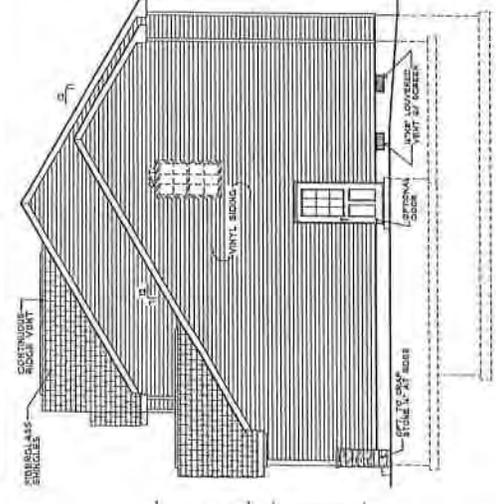
BISHOP & SMITH
REGISTERED ARCHITECTS
JACK S. SMITH, R.A.
RESIDENTIAL • COMMERCIAL

PROJECT: RESIDENCE
OWNER: ITH BUILDERS
DATE: 1-1-11
SCALE: 1/4"=1'-0"

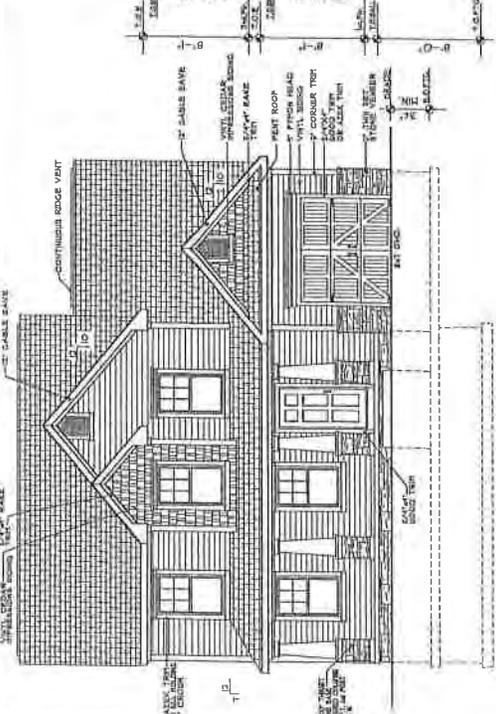
ALTA-1



FRONT ELEVATION 'B'
(CRAFTSMAN)
SCALE: 1/4"=1'-0"
(W/ OPT. 4-BEDROOM)



RIGHT SIDE ELEVATION 'B'
(CRAFTSMAN)
SCALE: 1/4"=1'-0"
(W/ OPT. 4-BEDROOM)



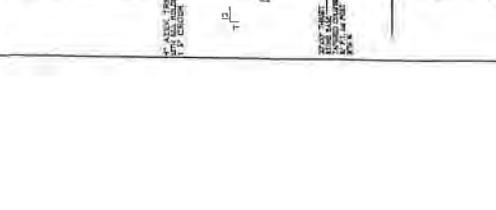
REAR ELEVATION 'B'
(CRAFTSMAN)
SCALE: 1/4"=1'-0"
(W/ OPT. 4-BEDROOM)



FRONT ELEVATION 'A'
(CRAFTSMAN)
SCALE: 1/4"=1'-0"
(W/ OPT. 4-BEDROOM)



RIGHT SIDE ELEVATION 'A'
(CRAFTSMAN)
SCALE: 1/4"=1'-0"
(W/ OPT. 2-CAR GARAGE)



REAR ELEVATION 'A'
(CRAFTSMAN)
SCALE: 1/4"=1'-0"
(W/ OPT. 2-CAR GARAGE)

MAXIMUM BACKSET ON FOUNDATION SHALL BE 18" UNLESS OTHERWISE NOTED.

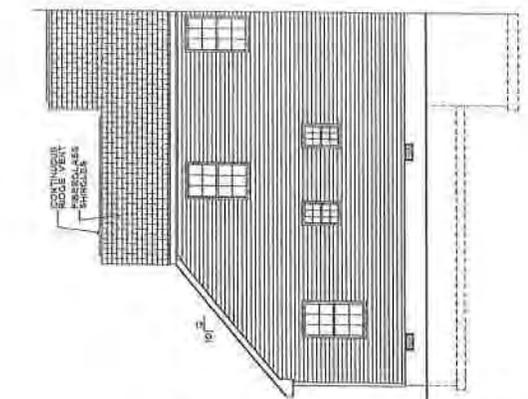
NOT TO BE USED ON PROPOSED INTERIOR FINISHES.

ISABELLA MODEL

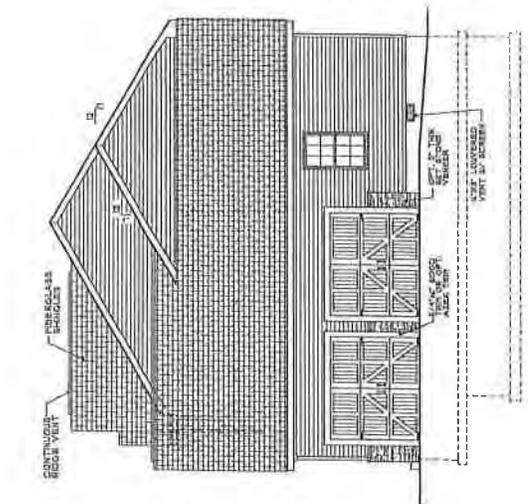
	PROJECT: RESIDENCE ARCHITECT: BISHOP & SMITH BUILDERS
	SHEET: 10-10-10 DATE: 05/05

ALTA-2

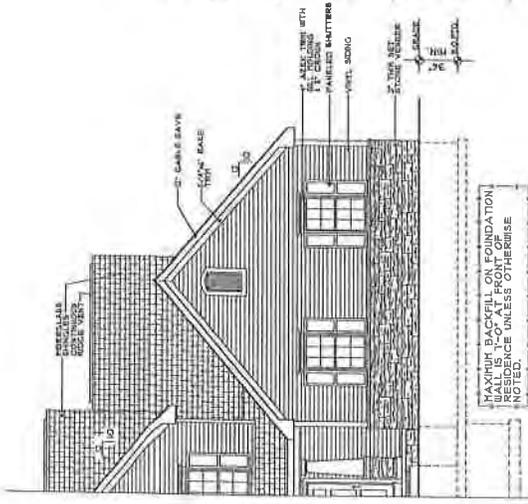
(ELEVATIONS D WITH STUDY)
 ISABELLA MODEL



REAR ELEVATION "B"
 SCALE: 1/4"=1'-0"
 (CRAFTSMAN)
 (W/ OPT. 4-BEDROOM)
 (W/ OPT. SIDE ENTRY 2-CAR GARAGE)



RIGHT SIDE ELEVATION "B"
 SCALE: 1/4"=1'-0"
 (CRAFTSMAN)
 (W/ OPT. 4-BEDROOM)
 (W/ OPT. SIDE ENTRY 2-CAR GARAGE)



FRONT ELEVATION 'B'
 SCALE: 1/4"=1'-0"
 (CRAFTSMAN)
 (W/ OPT. 4-BEDROOM)
 (W/ OPT. SIDE ENTRY 2-CAR GARAGE)

MAXIMUM BACKSET FROM FOUNDATION
 RESIDENCE UNLESS OTHERWISE
 NOTED.

BRACED WALL PLAN CONTINUOUS SHEATHED METHOD

THIS METHOD COMPLIES WITH IRC SECTION R301.2.11 #2 IRC STANDARD FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS (ICC-400)

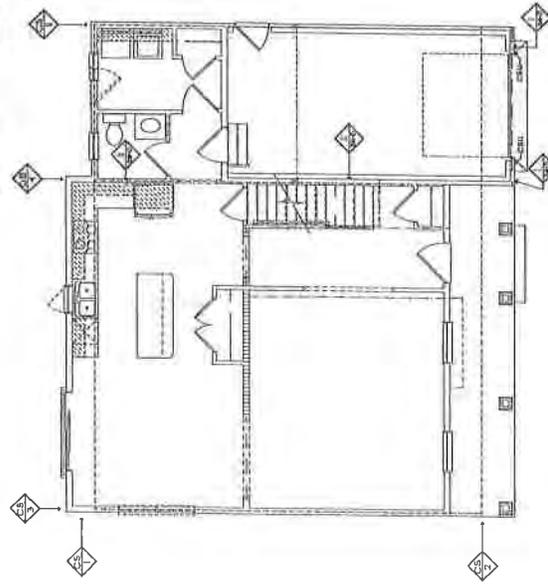
WIND SPEED: 150 KMPH 3-STORY

WALL	BRACED WALL USE SPACING	REQUIRED LENGTH	PROVIDED LENGTH
CS-1	30	10'-3"	24'-10"
CS-2	30	10'-3"	20'-3"
CS-3	24	13'-4"	22'-10"
GB-1	24	24'-10"	31'-10"
CS-5	12	30'-0"	30'-0"
CS-6A	24	1'-10"	24'-10"
CS-7	20	9'-4"	9'-8"
CS-8	30	13'-4"	20'-2"
CS-9	12	1'-2"	12'-0"
CS-10	30	13'-4"	31'-8"
GB-2	30	18'-4"	18'-10"
CS-12	22	15'-4"	4'-10"

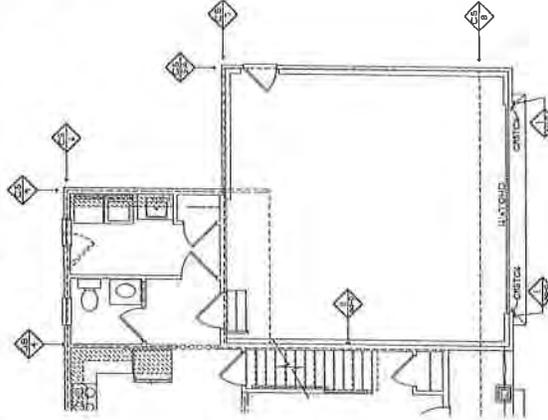
1 INDICATES THAT INTERPOLATION WAS USED TO DETERMINE THE REQUIRED LENGTH
 (A) PORTAL FRAME BRACED WALL LENGTH EQUAL TO LENGTH OF PORTAL FRAME
 (B) INTERIOR 1/2" GIB AND 5/8" GIB WHEN NAILED TO C.

BASED ON		WIND ADJUSTMENT FACTOR	
EXPOSURE	B	ADJUSTMENT FACTOR	1.00
ROOF PITCH TO RISE HEIGHT	4/12	ADJUSTMENT FACTOR	1.00
WALL HEIGHT	8'-0"	ADJUSTMENT FACTOR	0.10
WALL HEIGHT	9'-0"	ADJUSTMENT FACTOR	0.15
# BRACED WALLS	3	ADJUSTMENT FACTOR	1.00
# BRACED BAYS	1	ADJUSTMENT FACTOR	1.15

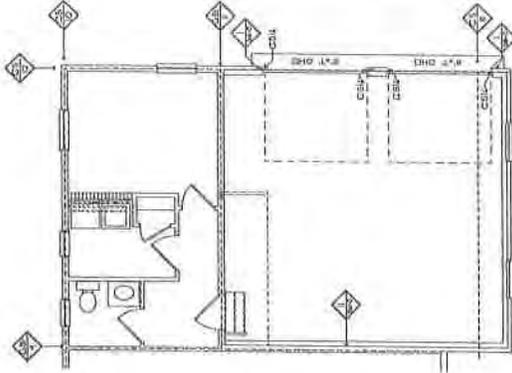
LEGEND	
---	BRACED SILL LINE
CB	CONTINUOUS SHEATHING
GB	GYPHEN
PF	PORTAL FRAME



FIRST FLOOR BW PLAN
SCALE: 1/4"=1'-0"



OPT. 2 CAR GARAGE
SCALE: 1/4"=1'-0"



OPT. SIDE ENTRY GARAGE W/ STUDY
SCALE: 1/4"=1'-0"

ISABELLA MODEL

PROJECT: RESIDENCE
 CLIENT: 1TH BUILDERS
 LOCATION: [REDACTED]

DATE: 10-1-2011
 DRAWN BY: [REDACTED]

JACK S. SMITH & SONS
 REGISTERED ARCHITECTS
 1111 W. 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1112
 WWW.JACKSMITHARCHITECTS.COM

BW-P1
 SHEET NO. 5105
 DATE: 10-1-2011
 PROJECT: RESIDENCE
 CLIENT: 1TH BUILDERS
 LOCATION: [REDACTED]

NOTE: THIS SHEET MUST BE ACCOMPANIED BY A BRACED WALL FASTENER SCHEDULE SHEET (BW-F), AND ALSO A BRACED WALL DETAIL SHEET (BW-D). THESE SHEETS MUST BE REVIEWED BY ALL PERSONS INVOLVED WITH PROJECT PRIOR TO CONSTRUCTION

SCALE: 1/4"=1'-0"



ORLANDO MERCADO
Council President

TRACEY L. TROTTO
Council Vice President

Council Members
DAN HUTCHISON
MICHAEL D. MIGNONE
FRANKLIN T. SCHMIDT
ANDREA L. STUBBS
MICHELLE L. WINTERS

GLOUCESTER TOWNSHIP

JOIN THE EXCITEMENT

DAVID R. MAYER
Mayor

THOMAS C. CARDIS
Business Administrator

DAVID F. CARLAMERE, ESQ.
Solicitor

ROSEMARY DIJOSIE
Township Clerk

To Whom It May Concern:

Our records indicate that the below referenced property is current with taxes and there are no outstanding liens.

Name: I & H Builders LLC
Address: 26 Rhode Island Rd
Block: 17503 Lot: 5

If you have any questions, please feel free to contact the tax office at 856-228-4000.

Sandra L. Ferguson
Gloucester Township Tax Collector

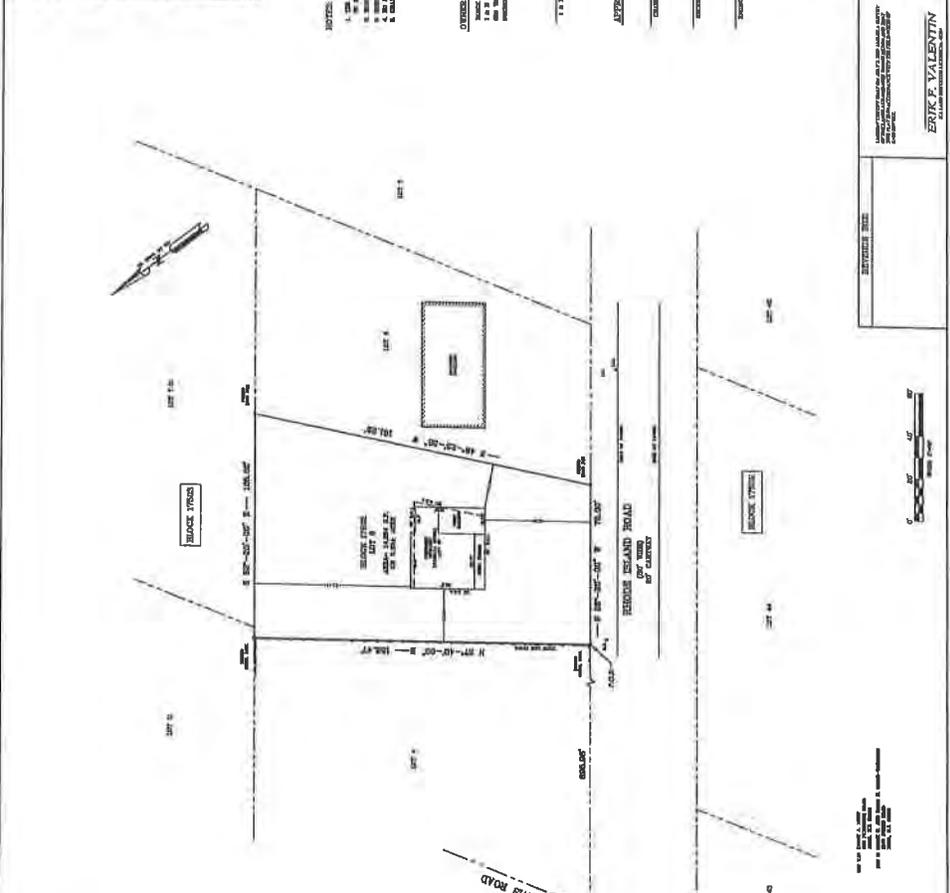


OFFICIAL VERIFICATION



Tax Collector
Gloucester Township
Camden County





GENERAL INFORMATION

THIS INSTRUMENT IS A PART OF THE SINGLE FAMILY RESIDENCE

NO.	DESCRIPTION	DATE
1
2
3
4
5
6
7
8
9
10

REMARKS:

1. A REFERENCE TO THE PLAN OF THE PROPERTY IS MADE IN THE INSTRUMENT WHICH THIS INSTRUMENT IS A PART OF.
2. A REFERENCE TO THE PLAN OF THE PROPERTY IS MADE IN THE INSTRUMENT WHICH THIS INSTRUMENT IS A PART OF.
3. A REFERENCE TO THE PLAN OF THE PROPERTY IS MADE IN THE INSTRUMENT WHICH THIS INSTRUMENT IS A PART OF.
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10. A REFERENCE TO THE PLAN OF THE PROPERTY IS MADE IN THE INSTRUMENT WHICH THIS INSTRUMENT IS A PART OF.

NOTES:

1. THE PROPERTY IS TO BE USED AS A RESIDENCE AND NO OTHER USES ARE PERMITTED.
2. THE PROPERTY IS TO BE USED AS A RESIDENCE AND NO OTHER USES ARE PERMITTED.
3. THE PROPERTY IS TO BE USED AS A RESIDENCE AND NO OTHER USES ARE PERMITTED.
4. THE PROPERTY IS TO BE USED AS A RESIDENCE AND NO OTHER USES ARE PERMITTED.
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9. THE PROPERTY IS TO BE USED AS A RESIDENCE AND NO OTHER USES ARE PERMITTED.
10. THE PROPERTY IS TO BE USED AS A RESIDENCE AND NO OTHER USES ARE PERMITTED.

OWNER'S AFFIDAVIT:

I, the undersigned, do hereby certify that the above is a true and correct copy of the original and that the same is a true and correct copy of the original.

TEST:

Subscribed and sworn to before me this _____ day of _____, 20__.

Notary Public for the State of New Jersey

VARIANCE PLAN FOR
BY BRIDGE ROAD ROAD
IN THE
TOWNSHIP OF GUTTENBERG
CANTON COUNTY, NEW JERSEY

APPROVED BY: **Erving**

DATE: _____

ERIK F. VALENTIN
 211 W. 10th Street, Lawrenceville, GA 30046

ENTIRETY HERE

SCALE:

1" = 100'

ADDITIONAL NOTES:

...



Commissioners
Richard P. Calabrese
Chairman
Joseph Pillo
Vice Chairman

Board Members
Frank Schmidt
Ken Garbowski
Dorothy Bradley
Alisa Smith
Frank Dintino

Raymond J. Carr
Executive Director

Marlene Hrynio
Administrative Secretary

Christopher F. Long, Esq.
Solicitor

Thomas Leisse, PE, CME
Consulting Engineer

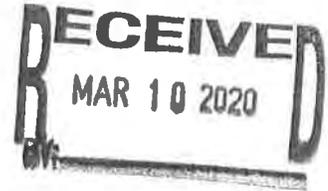
THE GLOUCESTER TOWNSHIP MUNICIPAL UTILITIES AUTHORITY

401 W. Landing Road, Blackwood, NJ 08012
P.O. Box 216, Glendora, NJ 08029-0216
Phone: (856) 227-8666 • FAX: (856) 227-5668

March 9, 2020

Township of Gloucester
Dept. of Community Development
P.O. Box 8
Blackwood, New Jersey 08012

Re: Application #202009C
I&H Builders, LLC
26 Rhode Island Road, Erial, NJ 08081
Block 17503, Lot 5



Gentlemen:

In response to your transmittal regarding the above application, approval will have no effect on the sanitary sewer system as sewer is not available on Rhode Island Road.

Should you have any further questions, please feel free to contact me.

Very truly yours,

**THE GLOUCESTER TOWNSHIP
MUNICIPAL UTILITIES AUTHORITY**

Raymond J. Carr
Executive Director

RJC:mh

Bnt# 63

B

TOWNSHIP OF GLOUCESTER ZONING BOARD TRANSMITTAL

DATE: March 3, 2020

APPLICATION No. #202009C

APPLICANT: I H BUUILDERS, LLC

PROJECT No. 13780

BLOCK(S): 17503 LOT(S): 5

LOCATION: 26 RHODE ISLAND RD, SICKLERVILLE

TRANSMITTAL TO:

- | | | | | | |
|--------------------------|------------------------------|-------------------------------------|----------------------|--------------------------|---------------------------|
| <input type="checkbox"/> | Township Engineer | <input type="checkbox"/> | Zoning Board Planner | <input type="checkbox"/> | Tax Assessor |
| <input type="checkbox"/> | Camden County Planning Board | <input type="checkbox"/> | Traffic Officer | <input type="checkbox"/> | G.T.M.U.A. |
| <input type="checkbox"/> | N.J. American Water Co. | <input type="checkbox"/> | Aqua N.J. Water Co. | <input type="checkbox"/> | Fire District 1 2 3 4 5 6 |
| <input type="checkbox"/> | Taxes | <input checked="" type="checkbox"/> | Construction | | |

STATUS OF APPLICATION:

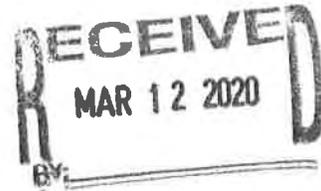
- New Application - Bulk C Revision to Prior Application

PURPOSE OF TRANSMITTAL:

- For Your Review. **Please Forward Report by March 15, 2020**
 For Your Files.

ENCLOSED:

- 2 Copies - Minor Subdivision Plat, 2 County Apps. 1 Twp. App.
- 1 Copy - Minor Site Plan
- 1 Copy - Minor Subdivision Plat
- 3 Copies - Preliminary. Site Plan, 2 County Apps and 1 Twp. App.
- 3 Copies - Major Subdivision - Preliminary. Plat, 2 County Apps. 1 Twp. App.
- 1 Copy - Major Subdivision - Preliminary. Plat
- 1 Copy - Preliminary Site Plan
- 1 Copy - Major Subdivision - Final Plat
- 1 Copy - Final Site Plan
- 3 Copies - Major Subdiv. - Final Plat, 1 Dev. Plan, 2 County Apps. 1 Twp. App.
- 1 Copy - Amended Site Plan
- 1 Copy - Major Subdivision - Amended Plat
- 1 Copy - Traffic Report
- 1 Copy - Development Plan
- 1 Copy - Drainage Calculations
- 1 Copy - E.I.S.
- Recycling Report



- Variance Plan Bulk (C) Variance Use (D) Variance

OK 3.11.20 JVB Bldg

Signature

**TOWNSHIP OF GLOUCESTER
ZONING BOARD TRANSMITTAL**

DATE: March 3, 2020

APPLICATION No. #202009C

APPLICANT: IZH BUILDERS, LLC

PROJECT No. 13780

BLOCK(S): 17503 LOT(S): 5

LOCATION: 26 RHODE ISLAND RD, SICKLERVILLE

TRANSMITTAL TO:

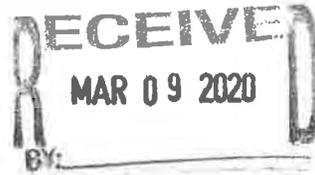
- | | | | | | |
|--------------------------|------------------------------|--------------------------|----------------------|-------------------------------------|---------------------------|
| <input type="checkbox"/> | Township Engineer | <input type="checkbox"/> | Zoning Board Planner | <input checked="" type="checkbox"/> | Tax Assessor |
| <input type="checkbox"/> | Camden County Planning Board | <input type="checkbox"/> | Traffic Officer | <input type="checkbox"/> | G.T.M.U.A. |
| <input type="checkbox"/> | N.J. American Water Co. | <input type="checkbox"/> | Aqua N.J. Water Co. | <input type="checkbox"/> | Fire District 1 2 3 4 5 6 |
| <input type="checkbox"/> | Taxes | <input type="checkbox"/> | Construction | | |

STATUS OF APPLICATION:

- New Application - Bulk C Revision to Prior Application

PURPOSE OF TRANSMITTAL:

- For Your Review. ***Please Forward Report by March 15, 2020***
 For Your Files.



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- Recycling Report

- Variance Plan Bulk (C) Variance Use (D) Variance

Signature

[Handwritten Signature]
Assessor
3/5/20

*No Issues.
Lot size similar to those in area.*

TOWNSHIP OF GLOUCESTER

Inter-office Correspondence



TO: Zoning Board of Adjustment
FROM: Kenneth D. Lechner, PP, AICP, Director/Planner
 Department of Community Development & Planning
RE: **APPLICATION #202011C**
Thomas P. O'Neil
BLOCK 20501, LOT 5
DATE: May 18, 2020

The above application is to permit a proposed single-family detached dwelling as per the submitted variance plan within the R-2 - Residential District. The property is located on the southeast side of Downs Avenue southwest of Kelley Drive Road.

Applicant/Owner: Thomas P. and Cynthia V. O'Neil, 15 Annapolis Court, Sicklerville, NJ 08081 (telephone #609-471-1392).
Engineer: Marie Baden, PE, Consulting Engineer Services, 645 Berlin-Cross Keys Road, Suite 1, Sicklerville, NJ 08081 (telephone #856-228-2200).

I. INFORMATION SUBMITTED

1. Land Development Application Form and Checklist dated 4/17/20.
2. Individual Lot Grading Plan, as prepared by Consulting Engineer Services, comprising one (1) sheet dated 10/04/19.

II. ZONING INFORMATION

1. Zone: R-2 ~ Residential District [§404].
 - **NOTE:** Lot area, yard, and building coverage shall apply the R-1 Residential district requirements as per §401.H(5), No public sewer.

<u>Standard</u>	<u>Required</u>	<u>Proposed</u>	<u>Complies</u>
Minimum lot size	1 ac.¹	0.931ac.	no*
Minimum lot frontage	100 ft.	140 ft.	yes
Minimum lot depth	200 ft.	289.88 ft.	yes
Maximum building coverage	15% ¹	±8.9%	yes
Maximum lot coverage	30%	16.9%	yes
PRINCIPAL BUILDING MINIMUM YARD DEPTHS AND HEIGHT LIMITATIONS			
Front yard	50 ft. ¹	67 ft.	yes
Side yard	25 ft.¹	20 ft.	no*
Side yard	25 ft. ¹	62 ft.	yes
Rear yard	75 ft. ¹	148.3 ft.	yes
Minimum Useable Yard Area	25%	≥ 25%	yes
Maximum Height	35 ft.	≤ 35 ft.	yes

¹ = R-1 - Residential District.

* = Variance required.

Variance Expiration: The applicant is advised that variances will expire unless construction commences within two (2) years of the date of the granting of the variance.

III. VARIANCE COMMENTS

The application as submitted requires the following variances:

§401.F, Area, Yard, Height and Building Coverage

1. Lot size: (0.93 ac. provided v. 1 ac. minimum required)
2. Side yard: (20 ft. provided v. 25 ft. minimum required).

POSITIVE CRITERIA ("C1" and "C2" variances)

The Applicant should address and the Zoning Board of Adjustment consider the following in satisfying the positive criteria for the required variances:

3. The Board has the power to grant a variance where by reason of exceptional narrowness, shallowness, shape, or topographic conditions or physical features, or an extraordinary and exceptional situation affecting a specific property, the strict application of the zoning regulations would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon the development of such property (basis 40:55D-70c(1)).

Also, the Board has the power to grant a variance when the purpose of the Municipal Land Use Law would be advanced by the deviation of the zoning ordinance and the benefits would substantially outweigh the detriments (basis N.J.S.A. 40:55-70c(2)).

NEGATIVE CRITERIA

The Board should not grant a variance unless it is clearly demonstrated that said variance can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the zone plan and

I have no further comments regarding this application at this time; however, reserve the right to provide additional comments during the public hearing to advance the planning process.

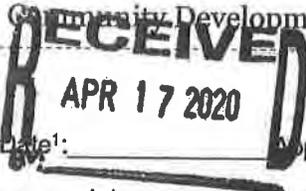
cc: Thomas P. O'Neil
Anthony Costa, Esq.
James Mellett, PE

TOWNSHIP OF GLOUCESTER

1261 Chews-Landing Clementon Road at Hider Lane

P.O. Box 8 Blackwood, NJ 08012

Community Development & Planning: (856) 374-3500 – FAX: (856) 232-6229



For Office Use Only

Submission Date: _____ Application No.: 202011C

Taxes paid YES NO _____ (Initial)

Fees: \$160.00 Project # 13830

Planning Board Zoning Board of Adjustment Redevelopment Entity

Escrow: \$150.00 Escr. # 13830

¹ Upon receipt of all fees, documents, plans, taxes paid, etc.

Fire District # _____

LAND DEVELOPMENT APPLICATION

1. Applicant	2. Owner(s) (List all Owners)
Name: <u>Thomas P. O'Neil</u>	Name(s): <u>Thomas P. O'Neil</u>
Address: <u>15 Annapolis Court</u>	<u>Cynthia V. O'Neil</u>
City: <u>Sicklerville</u>	Address: <u>15 Annapolis Court</u>
State, Zip: <u>NJ</u> , <u>08081</u>	City: <u>Sicklerville</u>
Phone: <u>(609) 471-1392</u> Fax: <u>(856) 809-0773</u>	State, Zip: <u>NJ</u> , <u>08081</u>
Email: <u>toneil7163@aol.com</u>	Phone: <u>(609) 471-1392</u> Fax: <u>(856) 809-0773</u>

3. Type of Application. Check as many as apply:

- | | |
|---|---|
| <input type="checkbox"/> Informal Review ² | <input type="checkbox"/> Planned Development ² |
| <input type="checkbox"/> Minor Subdivision | <input type="checkbox"/> Appeal of Administrative Officer's Decision – "A" Variance |
| <input type="checkbox"/> Preliminary Major Subdivision ² | <input type="checkbox"/> Interpretation – "B" Variance ² |
| <input type="checkbox"/> Final Major Subdivision | <input checked="" type="checkbox"/> Bulk "C" Variance ² |
| <input type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Use "D" Variance ² |
| <input type="checkbox"/> Preliminary Major Site Plan ² | <input type="checkbox"/> Site Plan Waiver |
| <input type="checkbox"/> Final Major Site Plan | <input type="checkbox"/> Rezoning Request |
| <input type="checkbox"/> Conditional Use Approval ² | <input type="checkbox"/> Redevelopment Agreement |
| <input type="checkbox"/> General Development Plan ² | <input type="checkbox"/> Other _____ |

² Applicant shall provide public notice in the official newspaper and to all property owners within 200 feet [Basis N.J.S.A. 40:55D-12].

4. Zoning Districts or Redevelopment Areas (Circle all zones or redevelopment area that apply)

ER	R-1	<u>R-2</u>	R-3	R-4	RA	APT
SCR	GCR	SCR-HC	OR	OF	CR	IA-APT
NC	HC	GI	BP	IN	PR	FP
Blackwood West RDAs		G-RD	M-RD	BW-RD	L-RD	Glen Oaks
New Vision	Interchange	College Drive	Lakeland	DESCO	Moffa's Farm	GEMS

5. The following applicants are required to be represented by a New Jersey Attorney: Corporation, Partnership, Limited Liability Corporation and Limited Liability Partnership

Name of Attorney: _____	City: _____
Firm: _____	State, Zip: _____
Address: _____	Phone: (____) ____ - ____ Fax: (____) ____ - ____
	Email: _____

6. Name of Persons Preparing Plans and Reports:

Name: Consulting Engineer Services
Address: 645 Berlin-Cross Keys Road, Ste 1
Profession: Engineer
City: Sicklerville
State, Zip: NJ 08081
Phone: (856) 228 - 2200 Fax: (856) 232 - 2346
Email: design@ces-1.com

Name: Jeffrey M. King Architects
Address: 306 West Cuthbert Blvd
Profession: Architect
City: Haddon Township
State, Zip: NJ 08108
Phone: (856) 240 - 7592 Fax: ()
Email: jking@kingarchitects.com

7. Location of Property:

Street Address: 1848 Downs Ave
Block(s): 20501, Lot(s): 5

8. Land Use:

Existing Land Use (Describe the Application): vacant lot
Proposed Land Use (Describe the Application): Applicant proposes to construct a new single family dwelling on the existing 40,583 sq ft lot.

9. Property:

Number of Existing Lots: <u>1</u>	Proposed Form of Ownership:	
Number of Proposed Lots: <u>1</u>	<input checked="" type="checkbox"/> Fee Simple	<input type="checkbox"/> Cooperative
	<input type="checkbox"/> Condominium	<input type="checkbox"/> Rental
Are there any existing deed restrictions?	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	(If yes, attach copies)
Are there any proposed deed restrictions?	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	

10. Utilities: (Check those that apply.)

Public Water Public Sewer Private Well Private Septic System

11. List of Application Submission Materials: plot plan, house plan

List all additional materials on an additional sheet.

12. List Previous or Pending Applications for this Parcel: none known

List all applications on a separate sheet.

13. Zoning

All Applications (property dimensions)

Lot frontage 1 140'
 Lot frontage 2 (corner lots) N/A
 Lot depth 289.88'
 Lot area 40,583 sf

Abbreviations/Footnotes

¹ = E.O.P = Edge of pavement
² = Applies to corner lots.

Fence Application

Setback from roadway E.O.P.¹
 Setback from roadway E.O.P.² (corner lots)
 Fence type (I.e. wood, vinyl, etc.)
 Fence height

Shed Application

Shed area (length x width)
 Shed height
 Shed wall height
 Setback from front property line 1
 Setback from front property line 2²
 Setback from side property line
 Setback from rear property line
 Number of sheds
 Distance from other building(s)

Garage Application

Garage Area (length x width)
 Garage height
 Garage wall height
 Number of stories
 Number of garages
 (Includes attached garages if applicable)
 Distance from other building(s)

Swimming Pool Application

Swimming pool area or diameter
 Setback* from front property line 1
 Setback* from front property line 2²
 Setback* from side property line
 Setback* from rear property line
 Distance** from dwelling

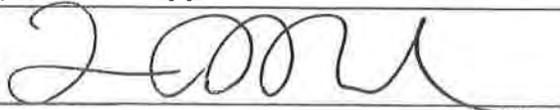
* Setback = Distance from pool apron.
 **Distance = Distance from edge of water.

14. Relief Requested (Variances, Conditional Use, Waivers, Exceptions):

- Check here if zoning variances are required. (see addendum)
- Check here if a conditional use is required.
- Check here if waivers from the Land Development Ordinance's performance and design standards are requested.
- Check here if exceptions to the Residential Site Improvement Standards (RSIS, N.J.A.C. 5:21-3.1) are requested.
- Check here if waivers from the Residential Site Improvement Standards (RSIS, N.J.A.C. 5:21-3.2) are requested.
 - Such waivers require application to and approval from the N.J. Site Improvement Advisory Board].

NOTE: If any of the above are required, attach hereto separate exhibit(s) for each category of relief sought.

15. Signature of Applicant



Signature of Applicant

4/3/2020

Date

Signature of Co-applicant

Date

16. Consent of Owner(s):

I, the undersigned, being the owner(s) of the lot or tract described in this application, hereby consent to the making of this application and the approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency. (If owned by a corporation, attach documentation authorizing application and officer signature).

4/3/2020

Date

Signature

Thomas P. O'Neil

Thomas P. O'Neil

Print Name

Sworn and Subscribed to before me this

third day of April

Signature

Cynthia V. O'Neil

2020 (Year).

KELLY M. O'NEIL
NOTARY PUBLIC OF NEW JERSEY

My Commission Expires 2/21/2024

Cynthia V. O'Neil

Print Name

17. Disclosure Statement (Pursuant to N.J.S.A. 40:55D-48.1 and 48.2):

Complete each of the following sections (attached names and addresses, if applicable):

- A. Is this application to subdivide a parcel of land into six or more lots?
- B. Is this application for a variance to construct a multiple dwelling of 25 or more family units?
- C. Is this application for approval on a site or sites for commercial purposes?
- D. Is the applicant a corporation?
- E. Is the applicant a limited liability corporation?
- F. Is the applicant a partnership?

- No Yes

IF YES TO ANY OF THE ABOVE:

1. List the names and addresses of all stockholders or individual partners owning at least 10 percent of its stock of any class or at least 10 percent of the interest in partnership, as the case may be. (Use additional sheets as necessary).
2. Does a corporation or partnership own 10 percent or more of the stock in this corporation or partnership?

IF YES:

List the names and addresses of the stockholders of that corporation holding 10 percent or more of the stock or 10 percent or greater interest in that partnership, as the case may be. This requirement is to be followed by every corporate stockholder or partnership, until the names and addresses of the non-corporate stockholder and individual partners with 10 percent or more ownership have been listed. (Use additional sheets as necessary).

No Yes

Thomas P. O'Neil

Signature of Applicant

Thomas P. O'Neil

Print Name

4/3/2020
Date

18. Survey / sketch plat waiver certification:

As of the date of this application, I hereby certify that the survey / sketch plat submitted with this application, under the date of 02/19/20, shows and discloses the premises in its entirety, described as Block 20501 Lot 5; and I further certify that no buildings, fences or other facilities have been constructed, installed or otherwise located on the premises after the date of the survey / sketch plat with the exception of the structures shown.

State of New Jersey,
County of Camden:

Thomas P. O'Neil of full age, being duly sworn to law, on oath and says that all of the above statement herein is true.

Sworn and subscribed to

On this third day of April,
2020 before the following authority.

Thomas P. O'Neil

Name of property owner or applicant

Notary public

Kelly M. O'Neil

KELLY M. O'NEIL
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires 2/21/2024

Commissioners
Richard P. Calabrese
Chairman
Joseph Pillo
Vice Chairman

Board Members
Frank Schmidt
Ken Garbowski
Dorothy Bradley
Alisa Smith
Frank Dintino



Raymond J. Carr
Executive Director

Marlene Hrynio
Administrative Secretary

Christopher F. Long, Esq.
Solicitor

Thomas Leisse, PE, CME
Consulting Engineer

**THE GLOUCESTER TOWNSHIP
MUNICIPAL UTILITIES AUTHORITY**

401 W. Landing Road, Blackwood, NJ 08012
P.O. Box 216, Glendora, NJ 08029-0216
Phone: (856) 227-8666 • FAX: (856) 227-5668
April 22, 2020

Township of Gloucester
Dept. of Community Development
P.O. Box 8
Blackwood, New Jersey 08012

Re: Application #202011C
Thomas P. O'Neil
1848 Downs Avenue, Clementon, NJ 08021
Block 20501, Lot 5

Gentlemen:

In response to your transmittal regarding the above application, sewer is not available.

Should you have any further questions, please feel free to contact me.

Very truly yours,

**THE GLOUCESTER TOWNSHIP
MUNICIPAL UTILITIES AUTHORITY**

Raymond J. Carr
Executive Director

RJC:mh

RECEIVED
MAY 12 2020

Ben# 66

AS

BY: _____
**TOWNSHIP OF GLOUCESTER
ZONING BOARD TRANSMITTAL**

DATE: April 17, 2020 APPLICATION No. 202011C

APPLICANT: Thomas P. O'Neil PROJECT No. 13830

BLOCK(S): 20501 Lot(S): 5

LOCATION: 1848 Downs Avenue

TRANSMITTAL TO:

- | | | | | | |
|--------------------------|------------------------------|-------------------------------------|---------------------|--------------------------|---------------------------|
| <input type="checkbox"/> | Board Engineer | <input type="checkbox"/> | Board Planner | <input type="checkbox"/> | Tax Assessor |
| <input type="checkbox"/> | Camden County Planning Board | <input type="checkbox"/> | Traffic Officer | <input type="checkbox"/> | G.T.M.U.A. |
| <input type="checkbox"/> | N.J. American Water Co. | <input type="checkbox"/> | Aqua N.J. Water Co. | <input type="checkbox"/> | Fire District 1 2 3 4 5 6 |
| <input type="checkbox"/> | Taxes | <input checked="" type="checkbox"/> | Construction | | |

STATUS OF APPLICATION:

- New Application – Preliminary and Final Major Site Plan (Phase II) Revision to Prior Application

PURPOSE OF TRANSMITTAL:

- For Your Review. **PLEASE FORWARD YOUR REPORT.**
- For Your Files.

ENCLOSED:

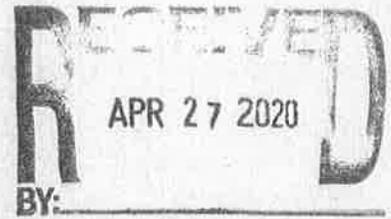
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- Recycling Report

- Variance Plan Bulk (C) Variance (LED Sign) Use (D) Variance

OK 5-12-20 JTG Bldg

Signature _____

**TOWNSHIP OF GLOUCESTER
ZONING BOARD TRANSMITTAL**



DATE: April 17, 2020

APPLICATION No. 202011C

APPLICANT: Thomas P. O'Neil

PROJECT No. 13830

BLOCK(S): 20501 Lot(S): 5

LOCATION: ¹⁸¹⁴ 1848 Downs Avenue

TRANSMITTAL TO:

- | | | | | | |
|--------------------------|------------------------------|--------------------------|---------------------|-------------------------------------|---------------------------|
| <input type="checkbox"/> | Board Engineer | <input type="checkbox"/> | Board Planner | <input checked="" type="checkbox"/> | Tax Assessor |
| <input type="checkbox"/> | Camden County Planning Board | <input type="checkbox"/> | Traffic Officer | <input type="checkbox"/> | G.T.M.U.A. |
| <input type="checkbox"/> | N.J. American Water Co. | <input type="checkbox"/> | Aqua N.J. Water Co. | <input type="checkbox"/> | Fire District 1 2 3 4 5 6 |
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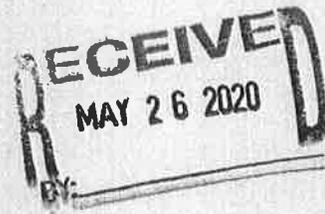
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- Recycling Report

- Variance Plan Bulk (C) Variance (LED Sign) Use (D) Variance



WHY IS HOME
SET FAR TO THE
LEFT AND DRIVEWAY
GOING UP RIGHTSIDE
TO CONTINUE?
WHAT IS PLANNED
FOR THE REAR OF
PROP?

Signature

[Handwritten Signature]
Assessor
5/14/20

